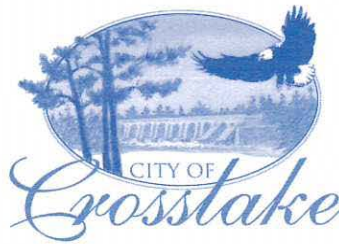


City Hall: 218-692-2688  
Planning & Zoning: 218-692-2689  
Fax: 218-692-2687



37028 County Road 66  
Crosslake, Minnesota 56442  
[www.cityofcrosslake.org](http://www.cityofcrosslake.org)

---

## **CITY OF CROSSLAKE**

### **PLANNING COMMISSION/BOARD OF ADJUSTMENT**

**June 24, 2022**

**9:00 A.M.**

Crosslake City Hall  
13888 Daggett Bay Rd, Crosslake MN 56442  
(218) 692-2689

### **PUBLIC HEARING NOTICE**

**Applicant:** Prescription Properties LLC

**Authorized Agent:** Kramer Leas Deleo

**Site Location:** 33855 County Rd 3, Crosslake, MN 56442

**Request a Conditional Use Permit:**

- Commercial storage building/storage unit rental

**Notification:** Pursuant to Minnesota Statutes Chapter 462, and the City of Crosslake Zoning Ordinance, you are hereby notified of a public hearing before the City of Crosslake Planning Commission/Board of Adjustment. Property owners have been notified according to MN State Statute 462 & published in the local newspaper. Please share this notice with any of your neighbors who may not have been notified by mail.

**Information:** Copies of the application and all maps, diagrams or documents are available at Crosslake City Hall or by contacting the Crosslake Planning & Zoning staff at 218-692-2689. Please submit your comments in writing including your name and mailing address to Crosslake City Hall or ([crosslakepz@crosslake.net](mailto:crosslakepz@crosslake.net)).



## STAFF REPORT

Property Owner/Applicant: Prescription Properties LLC

Parcel Number(s): 14320698

Application Submitted: May 9, 2022

Action Deadline: July 7, 2022

City 60 Day Extension Letter sent / Deadline: N/A / N/A

Applicant Extension Received / Request: N/A / N/A

City Council Date: N/A

**Authorized Agent:** Kramer Leas Deleo

**Request:**

Conditional Use Permit for commercial storage building/storage unit rental

**Current Zoning:**

Limited Commercial

**Adjacent Land Use/Zoning:**

North – Rural Residential 5 (RR5)

South – Limited Commercial & Rural Residential 5 (RR5)

East – Limited Commercial

West – Rural Residential 5 (RR5)

**Development Review Team Minutes held on 3-9-2022:**

- Property is located at 33855 County Road 3
- The proposed 70' x 168' rental storage building is proposed to meet all setbacks, impervious, and have 28 units (14 units per side), asphalt apron to surround the structure, no fencing or gate, – heated to be determined at a later date
- Article 10 Land Use Classification List, Sec 26-281 Land Use Table requires a CUP in the Limited Commercial district for storage rental
- Removal of the existing residential structure and abandonment of the septic (need form)
- All setbacks shall be measured to the vertical side of the structure. No part of the structure, such as eaves, can overhang or reduce such setback by more than three feet (Sec. 26-303)
- If the eaves exceed 36" the setback and the impervious coverage shall be measured from the dripline
- Impervious maximum of 50%, setbacks and conditions discussed, emailed: screening, fence, architectural standards, and sign sections of the ordinance
- If your parcel is located within an organization that has restrictions, it would be your responsibility to verify and meet those restrictions

- Design and implement a stormwater management plan (gutters, berm & rain gardens) to update any existing plan per Article 7 & 8 and is not required to be on the survey
- Two septic site suitabilities; old septic system area is the location of the new structure
- Wetland Delineation is a requirement for a conditional use permit or a no wetland statement/letter
- A grade and elevation illustration along with the cut & fill calculations is required
- Discussion on application requirements, procedure, schedule, fee and the requirements/need for a complete application packet by 4:30 PM of the deadline date; notification methods
- A Land Use Permit will be required prior to construction

Property owner was informed that before they could be placed on a public hearing agenda the following information is required:

1. A certificate of survey meeting the requirements outlined in Article 7, Sec. 26-185 of the City Land Use Ordinance for the CUP
2. Grade illustration, Elevation illustration and Cut & Fill calculations
3. Wetland delineation or a no wetland statement/letter
4. Septic design or compliance or abandonment form if applicable
5. A complete Conditional Use Permit (CUP) application and the fee of \$500.00

#### **Parcel History:**

- August 1981 – Septic system
- August 2007 – Zoning Map Amendment from RR1 to Commercial
- August 2007 – Construction of a septic system
- Septic system will need a compliance inspection or a septic design

#### **City Ordinance:**

Commercial storage building/storage unit rental – Allowed in Limited Commercial zoning with an approved conditional use permit (Article 10, Sec. 26-281)

#### **Agencies Notified and Responses Received:**

County Highway Dept: Comment(s) received

DNR: No comment received before packet cutoff date

City Engineer: N/A

Lake Association: No comment received before packet cutoff date

Crosslake Public Works: No comment received before packet cutoff date

Crosslake Park, Recreation & Library: N/A

Concerned Parties: No comment received before packet cutoff date

#### **POSSIBLE MOTION:**

To approve/table/deny the Conditional Use Permit for commercial storage building/storage unit rental involving approximately 103,255 sf without road right-of-way located at 33855 County Rd 3, City of Crosslake

#### **POSSIBLE CONDITIONS:**

1. Work with staff to implement the submitted stormwater plan
2. Limit hours of usage/operation
3. Screening requirements per Chapter 26 Land Use Article 28, Sec. 26-738
4. Limit outside storage items, types of items and/or location
5. Require a perpetual fence: location, minimum height, type and maintenance thereof

- 
- The map displays a grid of land parcels with different colors representing various zoning types. A large blue area on the left is labeled 'Rural Residential 5'. Several light green areas are labeled 'Limited Commercial'. A central parcel is highlighted with a thick black border and labeled 'CO RD 36' vertically. To the right of this parcel, a road is labeled 'GENDREAU RD' vertically. Below the highlighted parcel, a road is labeled 'SHAFFER RD'. A small area to the right of 'SHAFFER RD' is labeled 'Public'. Other labels include '103 Trl' at the top left, 'CO RD 36' at the top right, and 'Commercial / Light Industrial' near the center right. The map also shows a 'Public' area at the bottom right.



Northeast corner of  
Sec. 32, Twp. 137, Rng. 27



The property address for the subject property is:

33855 County Road 3  
Crosslake, MN 56442

The Parcel Number for the subject property is 14320698

The current zoning classification for the subject property is Limited Commercial.

This survey was completed without the benefit of a title commitment or title opinion, there may be easements or other limiting factors that affect the subject property that are not shown on this survey.

The subject property was reviewed for the existence of wetlands on April 28<sup>th</sup>, 2022, by Kyle Cherne, Minnesota Certified Delineator Number 1190.

**Legal Description – Document Number 742339:**

The East 250 Feet of the South 575 Feet of the Northeast Quarter of the Northeast Quarter, Section 32, Township 137, Range 27, Crow Wing County, Minnesota.

**Impervious Calculation (not including right-of-way)**

**Total Area (not including right-of-way) = 103,255 Sq. Ft.**

Existing impervious coverage (not including right-of-way)

Buildings	=	1,752 Sq. Ft.
Concrete	=	595 Sq. Ft.
Bituminous	=	1,538 Sq. Ft.
Decks	=	<u>368 Sq. Ft.</u>
<b>Total</b>	=	<b>4,253 Sq. Ft. (4.1% Impervious Coverage)</b>

Proposed impervious coverage (not including right-of-way)

Buildings	=	11,900 Sq. Ft.
Concrete	=	0 Sq. Ft.
Bituminous	=	21,640 Sq. Ft.
Decks	=	<u>0 Sq. Ft.</u>
<b>Total</b>	=	<b>33,540 Sq. Ft. (32.48% Impervious Coverage)</b>

PID 14320697  
Teri Lynn Cotter  
Zoning - Rural Residential 5

PID 14320638  
James M. Becker  
Zoning - Limited Commercial

PID 14320696  
d Larson Partnership LL  
g - Rural Residential 5

East Quarter corner of  
Sec. 32, Twp. 137, Rng. 27  
N = 276086.75  
E = 588396.82

— East line of Section 32

**PROPERTY BOUNDARY LEGEND**

- ☐ SET IRON PIPE WITH CAP STAMPED "KRAMER 23668"
- ☒ FOUND IRON MONUMENT
- ☐ X COMPUTED POSITION
- ☒ GOVERNMENT SECTION CORNER MONUMENT

ORIENTATION OF THIS BEARING  
SYSTEM IS BASED ON THE CROW WING  
COUNTY COORDINATE SYSTEM



NO.	REVISIONS SINCE INITIAL DATE OF	DATE
1	Added proposed improvements from engineered site plan.	5-31-2022

<b>KLD</b>	1120 Industrial Park Road Brynwood, MN 56447 218-252-5333	I HEREBY CERTIFY THAT THIS PLAN, SURVEY, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
	13 North 11th Avenue St. Cloud, MN 56303 320-259-1268	
<b>KRAMER LEAS DELO</b> SURVEYING • ENGINEERING • PLANNING BRAINERD ST. CLOUD		Signature: <u><i>James Kramer</i></u> James Kramer, MN License No. 23668
<b>PROJECT NO. KENTJ2201</b>		05/04/2022 Date

# CERTIFICATE OF SURVEY

## Topographic and Property Boundary Survey

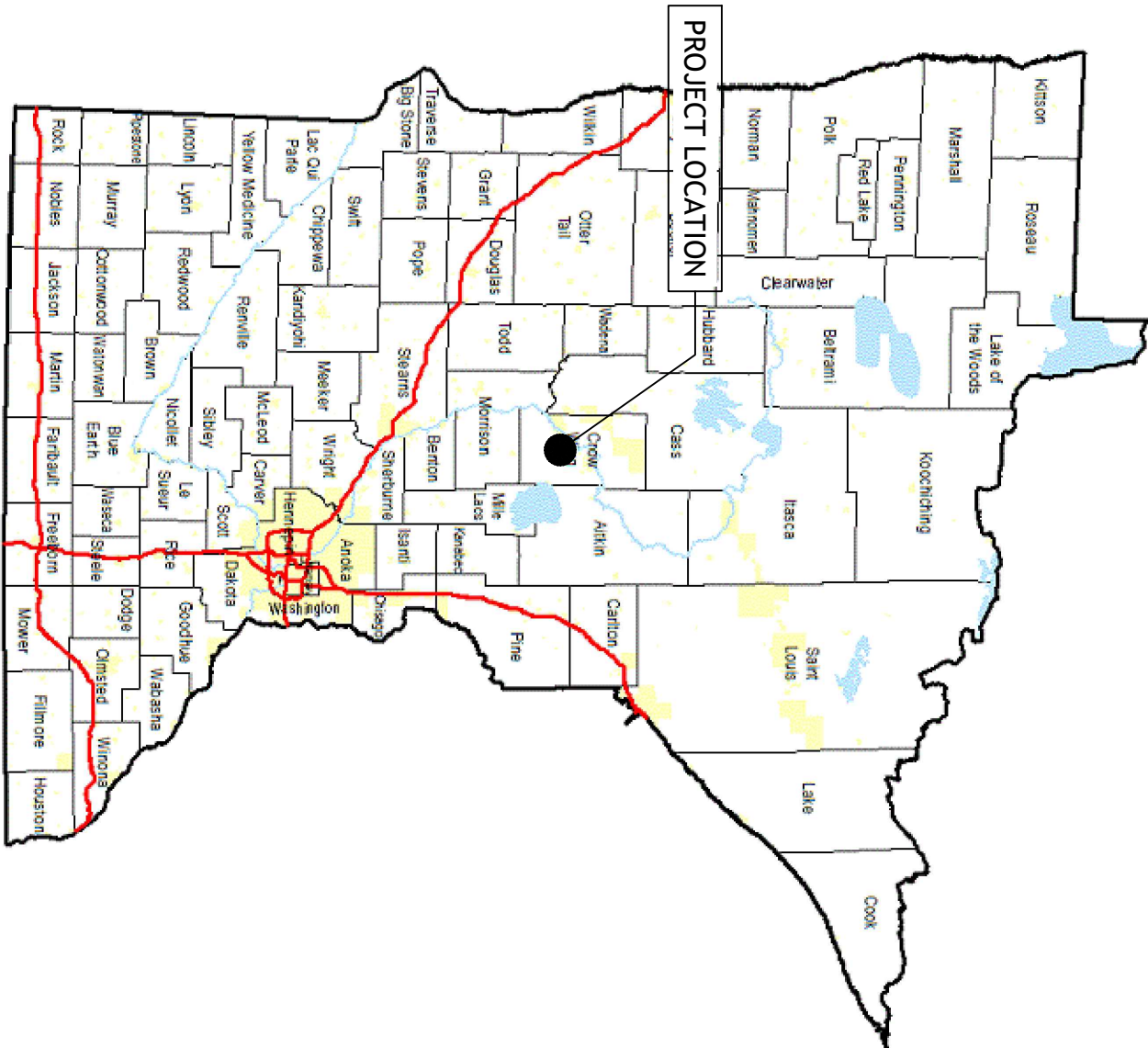
Jay Kent  
Section 32, Township 137 North, Range 27 West  
Crow Wing County, Minnesota

Sheet No. 1 of 1



# JAY KENT SITE IMPROVEMENTS STORAGE FACILITY

CITY OF CROSSLAKE, COUNTY OF CROW WING, STATE OF MINNESOTA  
LOCATED IN SECTION 32, TOWNSHIP 137, RANGE 27



## CONSTRUCTION PLANS

FOR

SITE IMPROVEMENTS, DRAINAGE, & EROSION CONTROL

PREPARED FOR:

JAY KENT

9700 51ST NORTH,

LAKE ELMO, MN 55042-8594

PREPARED BY:



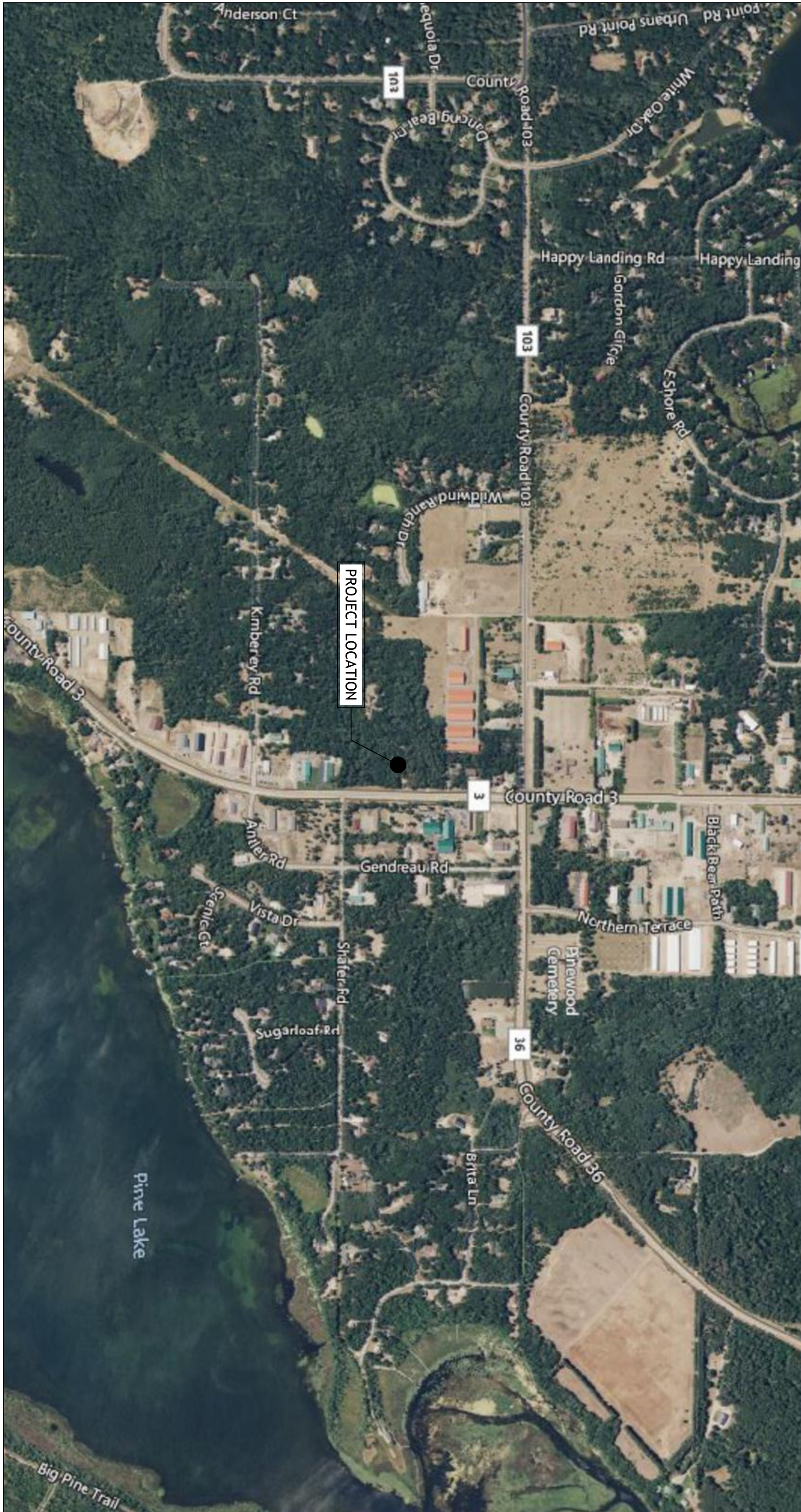
**Brainerd/Baxter**  
1120 Industrial Park Road  
Brainerd, MN 56401  
Phone (218) 829-5333  
Toll Free 1-866-816-5333  
Fax (218) 829-5377  
[www.kldland.com](http://www.kldland.com)

**KRAMER LEAS DELEO**  
SURVEYING • ENGINEERING • PLANNING

KLD PROJECT NO. KENTJ2201 CONTACT: TONY POHL

## SHEET INDEX

SHEET NO.	SHEET TITLE
C1.0	TITLE SHEET
C2.0	PLAN LEGEND & CONSTRUCTION DETAILS
C3.0	EXISTING CONDITIONS & REMOVALS PLAN
C4.0	SITE PLAN
C5.0	GRADING PLAN
C6.0	EROSION CONTROL PLAN
C6.1	SWPPP NARRATIVE
C6.2	SWPPP MAPS



### VICINITY MAP


NTS

### GOVERNING SPECIFICATIONS

- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE FOLLOWING:
- THE CURRENT EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION"
  - THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR 2600 TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, 2611 WATERMAIN AND SERVICE LINE INSTALLATION AND 2621 SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
  - THE CURRENT ADDITION OF THE "MINNESOTA PLUMBING CODE" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY.

DATE:	05/05/2022
DESIGNED:	TAP
CHECKED:	TAP
SCALE:	AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
Signature: 	05/09/2022 DATE
TONY A. POHL	LIC. NO. 56606
PROJECT NO. KENTJ2201	

NO.	REVISION SINCE INITIAL DATE OF MM/DD/YY	DATE



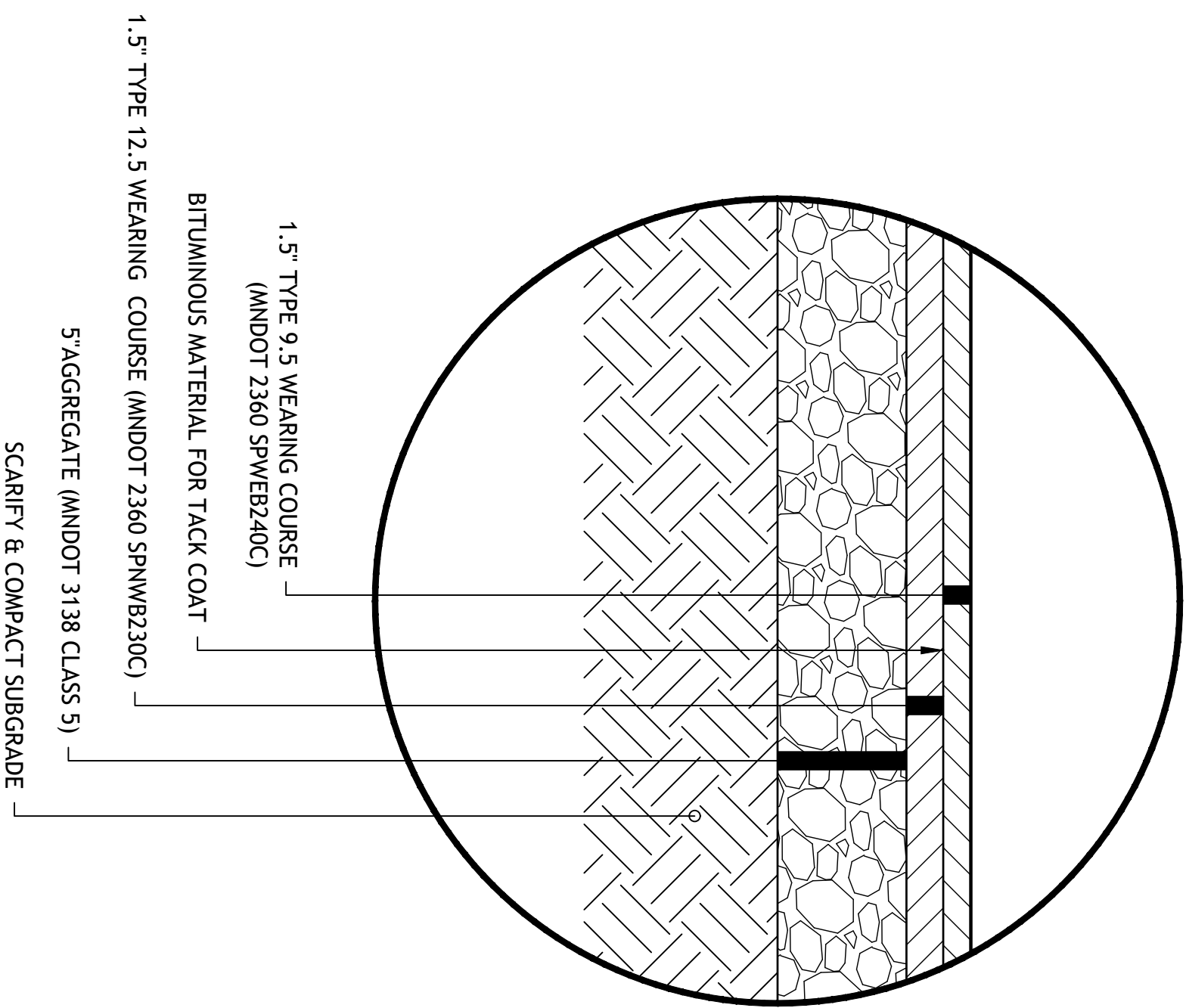
(EXISTING)

MAPPING LEGEND

(PROPOSED)

SET IRON PIPE WITH CAP STAMPED	●
FOUND IRON MONUMENT	●
COMPUTED POSITION	X
GOVERNMENT SECTION CORNER MONUMENT	●
SET MAGNETIC "PK" NAIL	●
STORM SEWER MANHOLE	●
SANITARY SEWER MANHOLE	●
ELECTRIC MANHOLE	●
CATCH BASIN	■
CULVERT APRON	▽
WELL	⋈
HYDRANT	⦿
WATER VALVE	⋈
UTILITY HANDHOLE	⦿
LIGHT POLE	⦿
UTILITY POLE	⦿
UTILITY POLE ANCHOR	⦿
UTILITY PEDESTAL	⦿
UTILITY METER	⦿
TANK (AS SPECIFIED)	⦿
SEWER CLEANOUT	●
LIFT STATION	⦿
SOIL BORING	⦿
SURFACE DRAINAGE ARROW	➔
TREE (DECIDUOUS)	⦿
TREE (EVERGREEN)	⦿
CONCRETE	▨
BITUMINOUS	▨
GRAVEL	▨
BURIED ELECTRIC LINE	— 8" —
BURIED TELEPHONE LINE	— 1" —
BURIED FIBER OPTIC LINE	— F/O —
BURIED GAS LINE	— G —
OVERHEAD POWER LINE	— 6" —
WATER LINE	— W —
STORM SEWER PIPE	— S —
SANITARY SEWER PIPE	— S —
PROPERTY LINE	— 88 —
BUILDING SETBACK LINE	— 88 —
CONTROLLED ACCESS	— 0 —
CHAINLINK FENCE	— C —
WOOD FENCE	— W —
BARBWARE FENCE	— B —
TREELINE	— T —
WETLAND	— W —
CONTOUR (MAJOR)	1025 — — —
CONTOUR (MINOR)	1025 — — —

WATER CURB STOP	⦿
HYDRANT	⦿
WATER VALVE	⦿
STORM SEWER APRON	▨
STORM SEWER INLET	▨
STORM SEWER MANHOLE	●
SANITARY SEWER MANHOLE	●
SANITARY SEWER CLEANOUT	●
INLET PROTECTION	○
SURFACE DRAINAGE ARROW	➔
CONCRETE	▨
BITUMINOUS	▨
GRAVEL	▨
RIPRAP	▨
EROSION CONTROL BLANKET	▨
WATERMAIN	— W —
STORM SEWER	— S —
FORCEMAIN	— FM —
SANITARY SEWER	— S —
SILT FENCE	— * * * —
BIO-ROLL	— BIO — BIO —
CONTOUR (MAJOR)	1025 — — —
CONTOUR (MINOR)	1025 — — —



UTILITY QUALITY LEVEL DEFINITIONS

**UTILITY QUALITY LEVEL - A** - A PROFESSIONAL OPINION OF THE QUALITY AND RELIABILITY OF UTILITY INFORMATION. SUCH RELIABILITY IS DETERMINED BY THE MEANS AND METHODS OF THE PROFESSIONAL. EACH OF THE FOUR EXISTING UTILITY DATA QUALITY LEVELS IS ESTABLISHED BY DIFFERENT METHODS OF DATA COLLECTION AND INTERPRETATION.

**UTILITY QUALITY LEVEL A -** PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE FOR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES, USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL AND VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15-MM VERTICAL AND TO APPLICABLE HORIZONTAL SURVEY AND MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.

**UTILITY QUALITY LEVEL B -** INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT AND REDUCED ONTO PLAN DOCUMENTS.

**UTILITY QUALITY LEVEL C -** INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

**UTILITY QUALITY LEVEL D -** INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

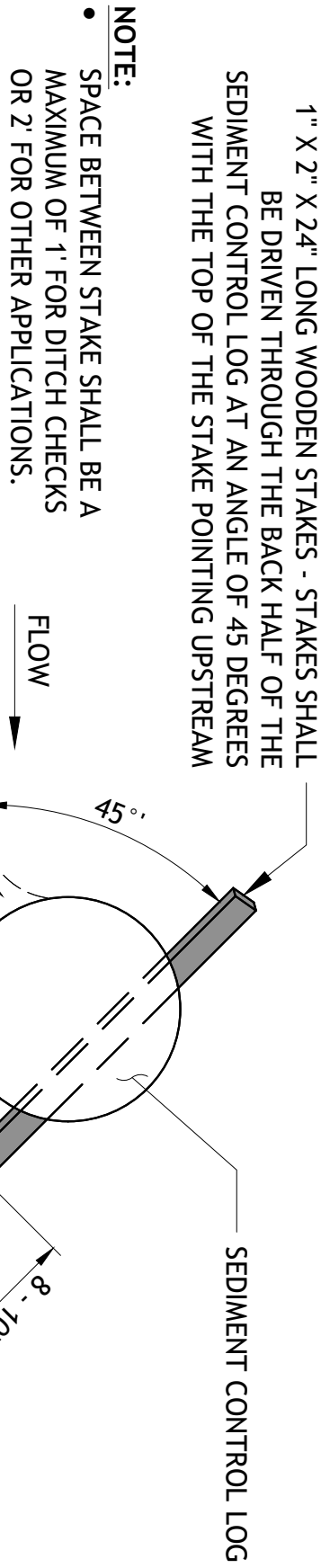
ALL UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND WERE DETERMINED FROM THE RESPECTIVE UTILITY COMPANIES FOLLOWING A GOPHER STATE ONE CALL DESIGN LOCATE REQUEST. THE UTILITIES SHOWN ON THE PLAN MAY NOT REPRESENT ALL UNDERGROUND UTILITIES IN THE AREA. NO FIELD VERIFICATION WAS MADE FOR THE UTILITIES SHOWN. THE UTILITY COMPANIES THAT RESPONDED TO THE ONE CALL ARE LISTED BELOW.

TICKET NO. 220942738, CROSSLAKE TELE/CABLE, CROW WING COOP, & XCEL ENERGY

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".



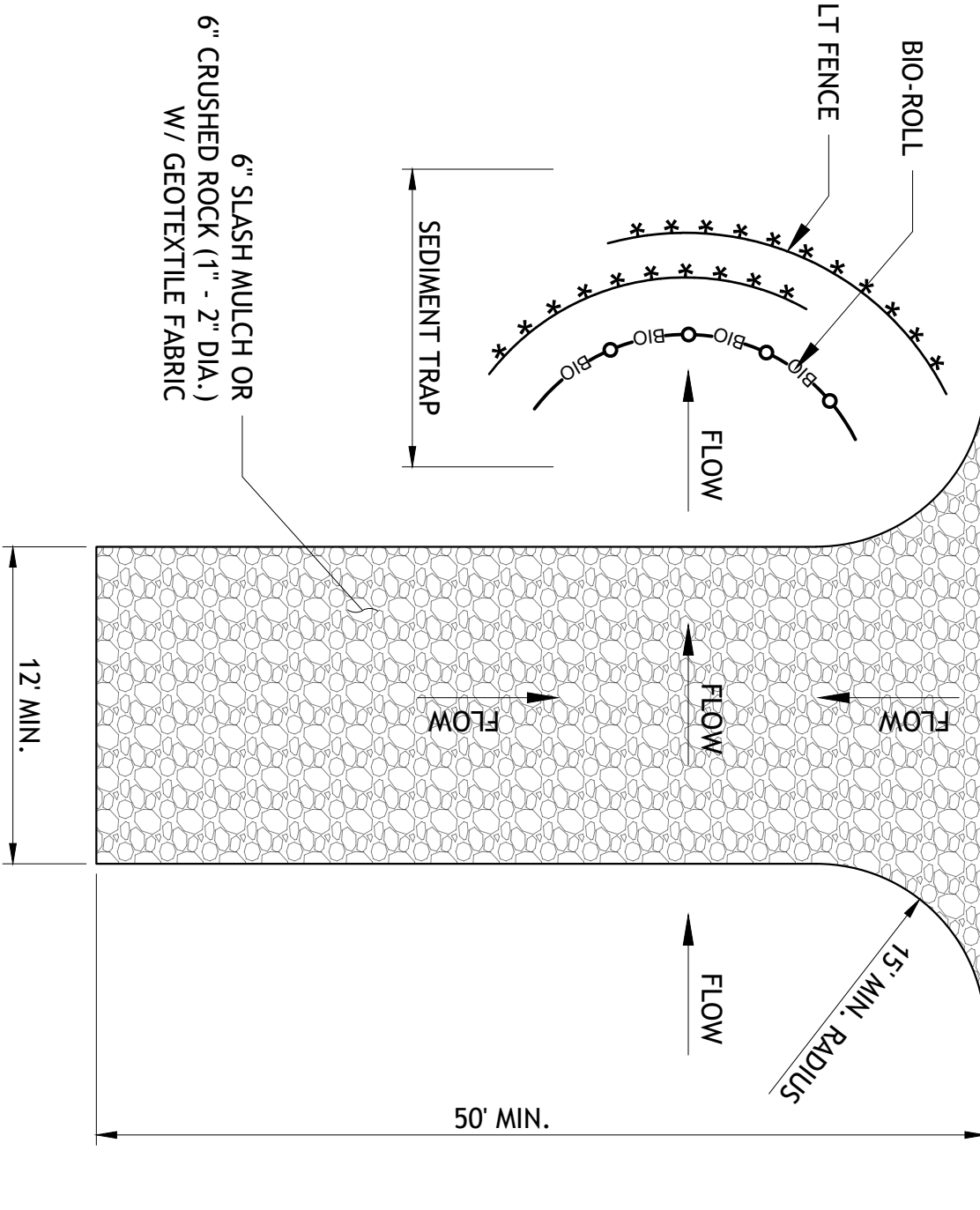
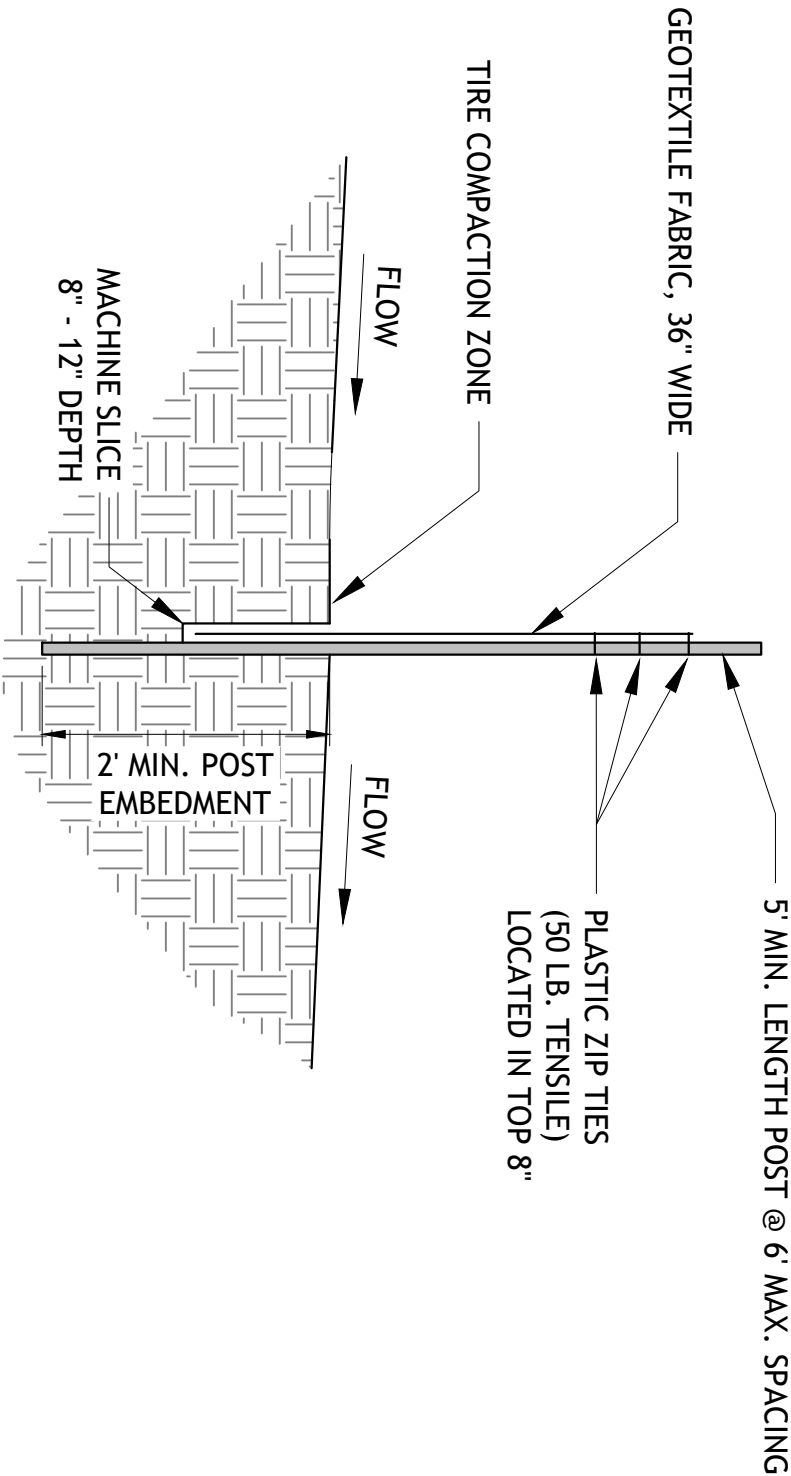
Know what's below.  
Call before you dig.



TYPES: STRAW, WOOD FIBER, OR COIR

SEDIMENT CONTROL LOG (BIO-ROLL)

NTS



CONSTRUCTION EXIT

NTS

SITE IMPROVEMENTS - STORAGE FACILITY  
JAY KENT  
SECTION 32, TOWNSHIP 137, RANGE 27  
CROSSLAKE, MN

PLAN LEGEND & DETAILS

DATE:	05/05/2022
DESIGNED:	TAP
CHECKED:	TAP
SCALE:	AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Tony A. Pohl* 05/09/2022  
TONY A. POHL LIC. NO. 56606 DATE

PROJECT NO. KENTJ2201

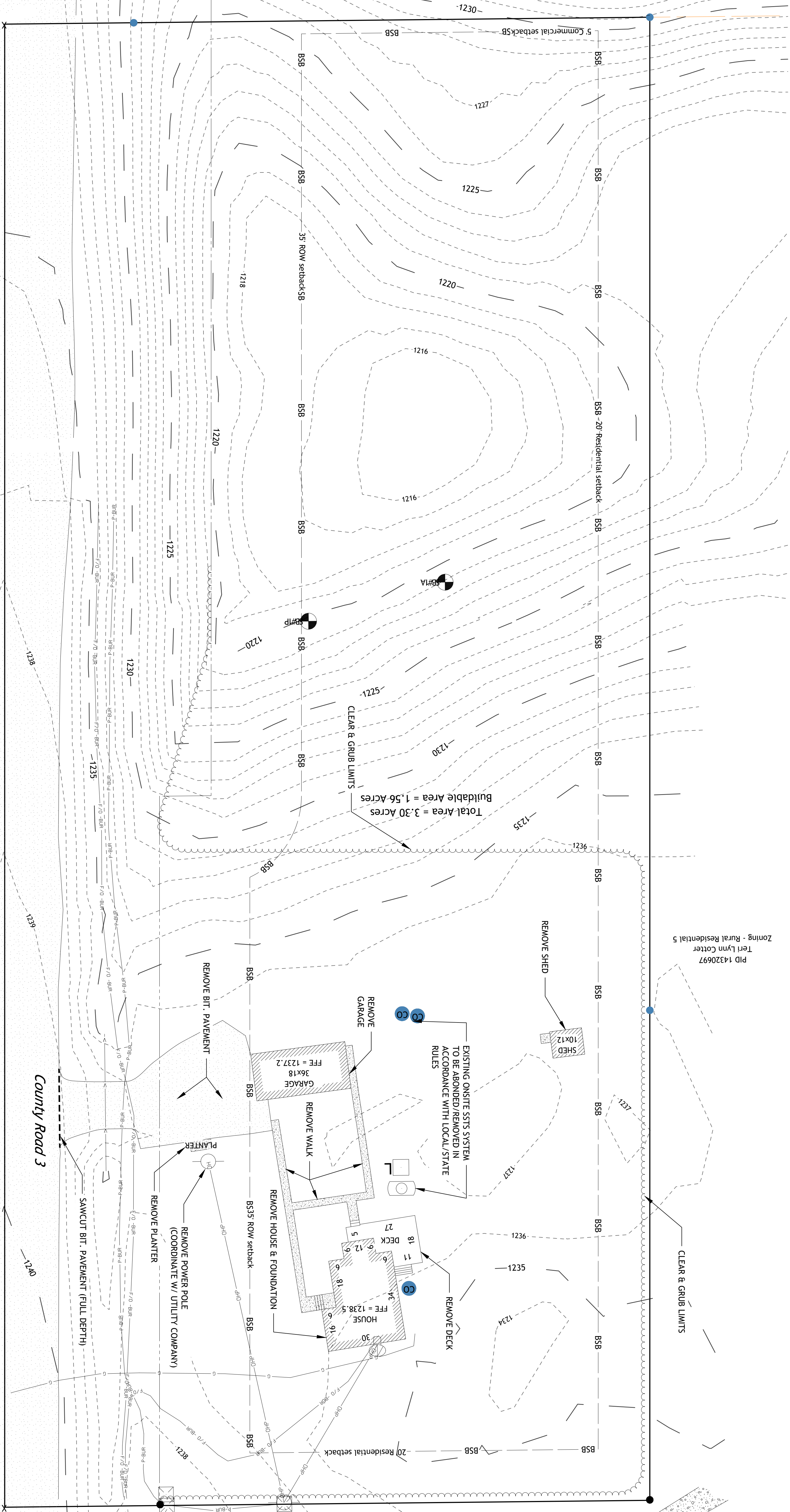
NO.	REVISION SINCE INITIAL DATE OF MM/DD/YY	DATE



- DEMOLITION & SITE PREPARATION NOTES**
1. DATUM: NAVD 29
  2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND DIMENSIONS WHERE NEW WORK WILL MATCH EXISTING. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
  3. CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS, CITY/COUNTY BUILDING, LAND USE PERMITS, MPCA CONSTRUCTION STORMWATER GENERAL PERMIT, AND ANY REQUIRED DEPARTMENT OF LABOR AND INDUSTRY (DOLI) PLAN REVIEWS, FROM THE APPROPRIATE AUTHORITIES, DEPARTMENTS, AND/OR AGENCIES HAVING JURISDICTION PRIOR TO COMMENCING WORK.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE

5. EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
6. UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED OR REUSED / RELOCATED, ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
7. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
8. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. CLEARING AND GRUBBING WORK SHALL CONSIST OF REMOVING AND DISPOSING OF THE TREES, BRUSH, STUMPS, ROOTS, AND OTHER PLANT LIFE,

9. INCLUDING DEAD AND DECAYED MATTER, WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE DESIGNATED TO REMAIN BY THE OWNER OR AS DIRECTED BY THE ENGINEER.
10. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNERS REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN. CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
13. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE AND MAINTAIN ALL PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES, A STATE OF MINNESOTA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.



PD 14320697  
Teri Lynn Cotter  
Zoning - Rural Residential 5

CLEAR & GRUB LIMITS

EXISTING ON-SITE STS SYSTEM  
TO BE ABANDONED/REMOVED IN  
ACCORDANCE WITH LOCAL/STATE  
RULES

REMOVE DECK

REMOVE GARAGE

REMOVE WALK

REMOVE HOUSE & FOUNDATION

REMOVE BIT, PAVEMENT

REMOVE PLANTER

REMOVE POWER POLE  
(COORDINATE W/ UTILITY COMPANY)

REMOVE BIT, PAVEMENT (FULL DEPTH)

County Road 3

SITE IMPROVEMENTS - STORAGE FACILITY  
JAY KENT  
SECTION 32, TOWNSHIP 137, RANGE 27  
CROSSLAKE, MN

EXIST. CONDITIONS & REMOVALS

DATE: 05/05/2022  
DESIGNED: TAP  
CHECKED: TAP  
SCALE: AS SHOWN



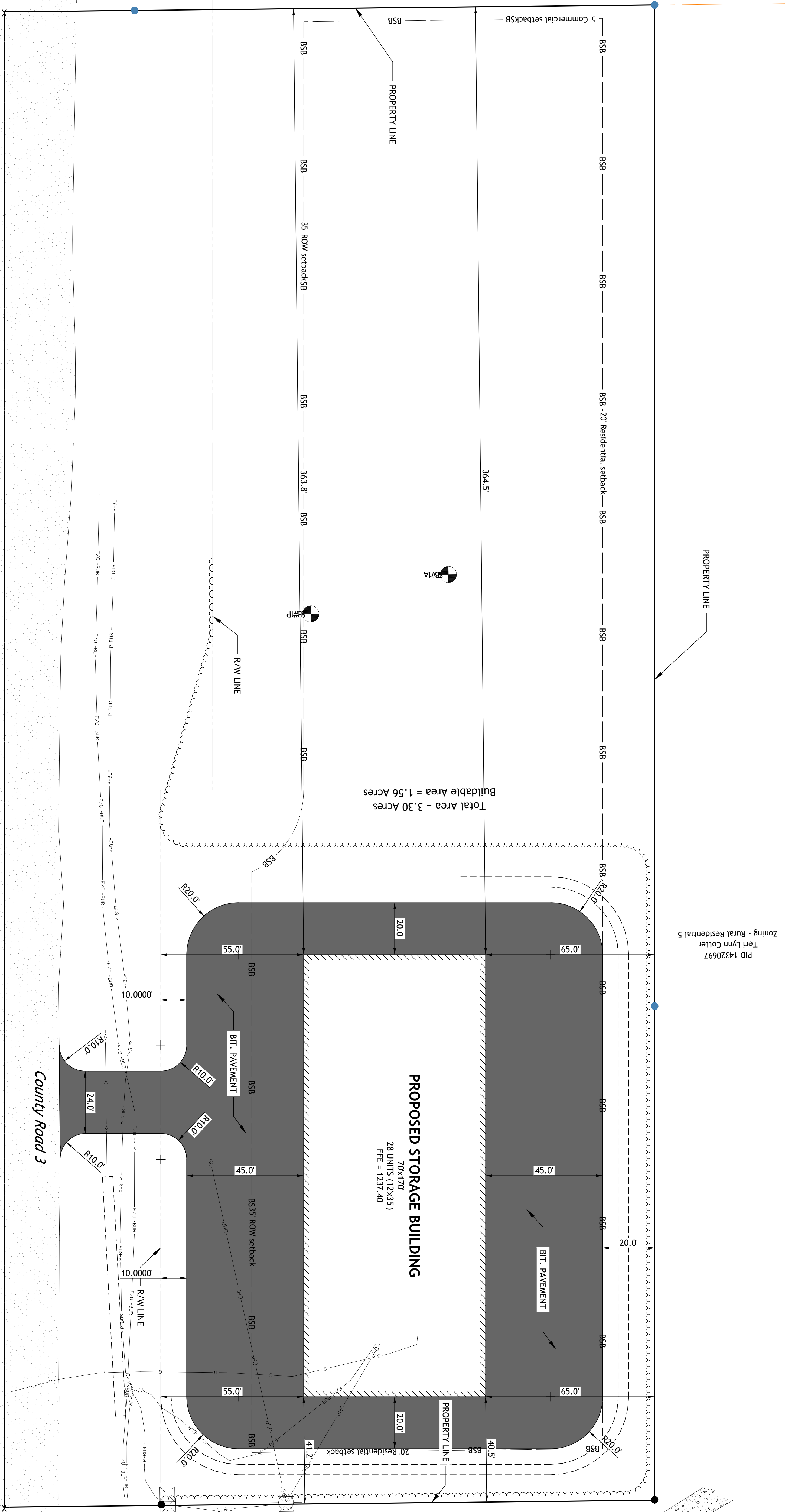
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: Tony A. Pohl  
TONY A. POHL LIC. NO. 56606  
05/09/2022 DATE

PROJECT NO. KENTJ2201

NO.	REVISION SINCE INITIAL DATE OF RM/DD/YY	DATE





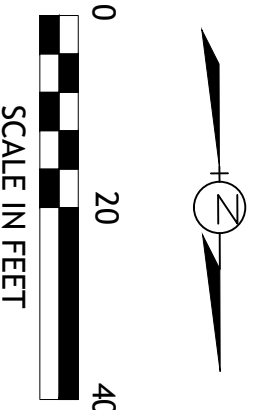
SITE PLAN NOTES

1. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND DIMENSIONS WHERE NEW WORK WILL MATCH EXISTING. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
2. CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS, CITY/COUNTY BUILDING/LAND USE PERMITS, MRCA CONSTRUCTION STORMWATER GENERAL PERMIT, AND ANY REQUIRED DEPARTMENT OF LABOR AND INDUSTRY (DOL) PLAN REVIEWS, FROM THE APPROPRIATE AUTHORITIES, DEPARTMENTS, AND/OR AGENCIES HAVING

3. JURISDICTION PRIOR TO COMMENCING WORK, STREET WIDTHS ARE SHOWN FROM EDGE OF BITUMINOUS TO EDGE OF BITUMINOUS.
4. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2013 ED. OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS - 2600 TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, 2611 WATERMAIN AND SERVICE LINE INSTALLATION, 2621 SANITARY SEWER AND STORM SEWER INSTALLATION, AND TO THE 2018 EDITION OF "MNDOT STANDARD SPECIFICATION FOR CONSTRUCTION", AND THE MINNESOTA PLUMBING CODE. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EARTHWORK QUANTITIES WHICH THE CONTRACTOR'S BID SHALL BE BASED ON.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PRIOR TO PLACEMENT, TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
7. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY, COUNTY, OR STATE, AS APPLICABLE.

IMPERVIOUS COVERAGE

LOT AREA = 103,255 SQ. FT.  
PROPOSED IMPERVIOUS = 33,540 SQ. FT.  
TOTAL IMPERVIOUS COVERAGE = 32.48%



SITE IMPROVEMENTS - STORAGE FACILITY  
JAY KENT  
SECTION 32, TOWNSHIP 137, RANGE 27  
CROSSLAKE, MN  
SITE PLAN

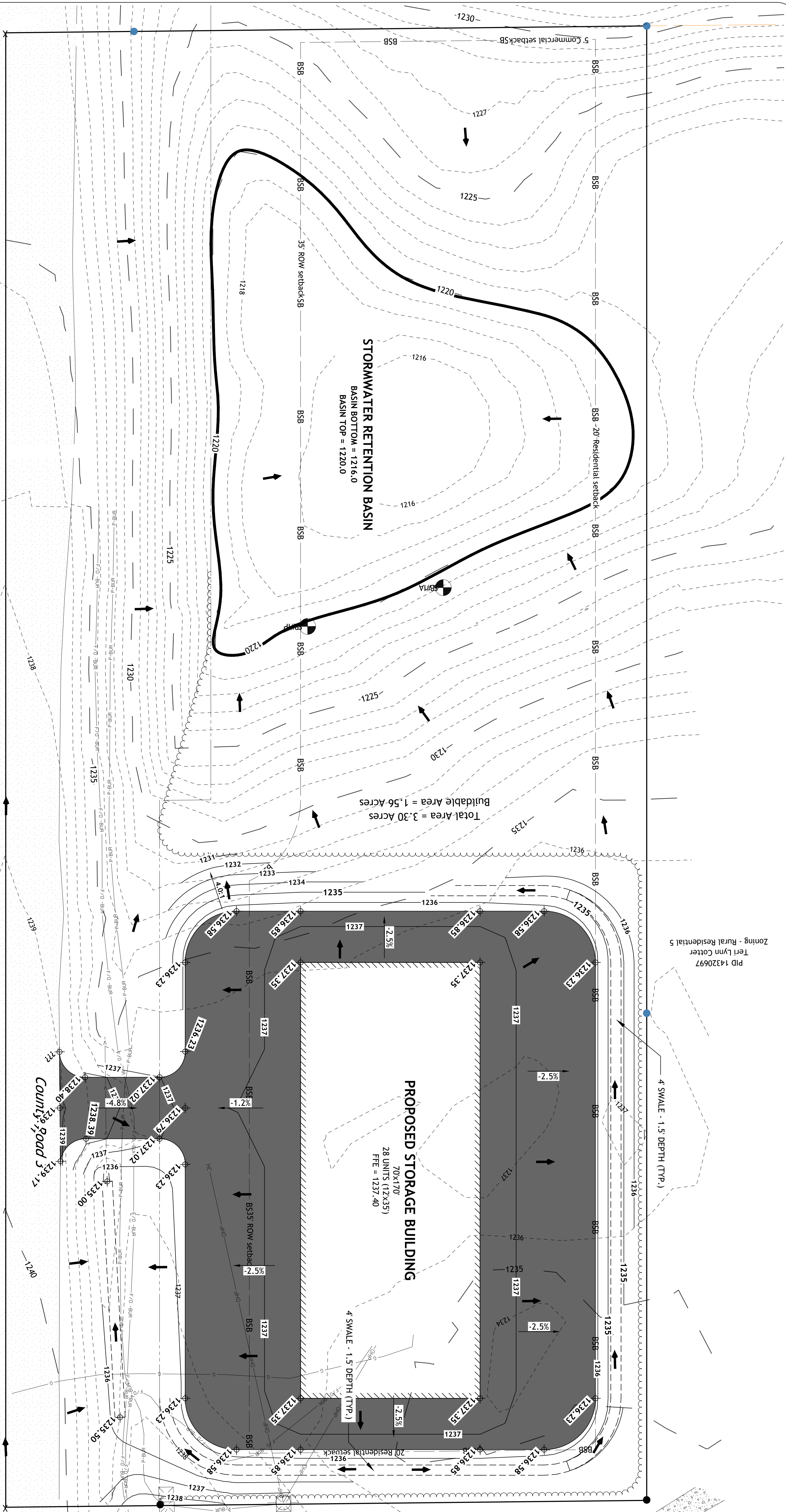
DATE: 05/05/2022  
DESIGNED: TAP  
CHECKED: TAP  
SCALE: AS SHOWN



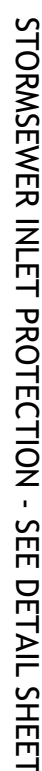
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
Signature: *Tony A. Pohl* 05/09/2022  
TONY A. POHL LIC. NO. 56606 DATE  
PROJECT NO. KENTJ2201

NO.	REVISION SINCE INITIAL DATE OF MM/DD/YY	DATE









14. FINAL STABILIZATION HAS BEEN ACHIEVED WHEN ALL EARTH DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS, OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED.
15. ALL TEMPORARY BMP'S SHALL BE REMOVED FROM THE SITE UPON SUBMITTING THE NOTICE OF TERMINATION.
16. ALL SITE WASTES (INCLUDING TRASH AND BUILDING MATERIALS) MUST BE PROPERLY MANAGED TO PREVENT POTENTIAL POLLUTION OF STATE WATERS.

DISTURBED AREA AFTER AN EARTH DISTURBANCE HAS BEEN COMPLETED OR

## EROSION CONTROL PLAN

SCALE: AS SHOWN



PROJECT NO. KENTJ2201

NO.	REVISION SINCE INITIAL DATE OFMM/DD/YY	DATE



STORMWATER POLLUTION PREVENTION PLAN NARRATIVE

General Construction Activity Information

- Project Name: Jay Kent Storage
- Project Location: Crosslake, Minnesota (Section 32, Township 13137 North, Range 27 West)
- PID: 14320698      Latitude/Longitude: 46°38'36.40"N / 94°06'55.36"W
- Existing Site Description: The existing site is developed with a residential home and garage along with driveway and sidewalk surfacing. The existing site is 3.3 acres in size. The site drains to the south to a natural low area. The low area is not a wetland and infiltrates the received runoff.
- Proposed Site Description: The proposed project consist of removing all of the existing site features (house, garage, septic, well, walks & driveway). Construction a proposed 70x170 28 unit storage facility. The facility will be served by a proposed bituminous drive. No septic or water supply is proposed. The natural low area will be utilize to handle the increase in runoff.
- Total acres to be disturbed: 1.20
- Pre-construction acres of impervious surface: 0.10 acres
- Post-construction acres of impervious surface: 0.78 acres
- Total new impervious surface acres: 0.68 acres
- Type of Construction:
  - stripping of topsoil
  - construction of erosion/sediment control devices.
  - common excavation
  - gravel surfacing
  - bituminous paving
  - light commercial building
  - turf re-establishment
- Anticipated Dates of Construction: June 2022 - September 2023

Receiving Waters

Receiving public waters located within 1 mile of the project boundary are identified in the table below.

Water Body ID	Name of Water Body	Type	Special/Impaired Water
N/A	N/A	N/A	N/A

Unique Stormwater Management Features: None

Outstanding Resource Value Waters (orwvs): There are no known outstanding resource value waters within 1 mile of the project boundary.

Calcareous Fens: There are no known calcareous fens within 1 mile of the project boundary.

Wetland Impacts: None

Environmentally Sensitive Areas

There are no known environmentally sensitive areas within the limits of construction.

Archaeological, Historical, and Architectural Resources

There are no known archaeological, historical, and architectural resources within 1 mile of the project boundary

Endangered & Threatened Species Review

There are no known endangered and threatened species within 1 mile of the project boundary.

Project Plans and Specifications

Attached site maps and/or plan sheets depict the following features:

- The project location and construction limits.
- Existing and final grades, including dividing lines and direction of flow for all pre and post-construction stormwater runoff drainage areas located within the project limits.
- Soil types at the site.
- Locations of impervious surfaces.
- Locations of areas not to be disturbed (e.g., buffer zones, wetlands, etc.).
- Slope slope locations.
- Locations of areas where construction will be phased to minimize duration of exposed soils.
- Portions of the site that drain to a public water with DNR work in water restrictions for fish spawning timeframes.
- Locations of all temporary and permanent erosion and sediment control best management practices (BMPs).
- Locations of potential pollution-generating activities identified in Section 12 of the permit.
- Standard details for erosion and sediment control BMPs to be installed at the site.

Estimated Erosion Prevention and Sediment Control Quantities	Estimated Quantity
Item Description	Unit of Measure

Bio-roll

Erosion Control Blanket	Lineal Feet	250
Turf Restoration	Square Yard Acres	1275 0.40
Silt Fence	Lineal Feet	640
Construction Entrance	Each	1Project Contacts

- Owner
    - Jay Kent
    - kent@aapa.com
    - 651-335-1819
    - Contractor - TBD
    - SWPPP Preparer
    - Kramer Leas Deleo, P.C. (KLD)
    - Tony Pohl
    - 218-461-2127
    - t.pohl@kldand.com
    - May 1<sup>st</sup>, 2021, Rebecca Forman, SWPPP Recort 31-350
    - SWPPP Supervisor & Installer - TBD
  - Long Term Operation and Maintenance of Permanent Stormwater Treatment Systems
- Long term maintenance of the permanent storm water management system will be by Baldwin Township. Maintenance shall be per the following report.
- Infiltration Basins - Maintenance Inspection Report**

Date:

Inspector Name/Address/Phone Number:

Site Address:

Owner Name/Address/Phone Number:

Drainage Area Stabilization (Inspect after large storms for first two years, inspect yearly in spring or after large storms after first two years)

- Erosion control/planting/seedling necessary:
- Mowing, pruning and debris removal necessary:

- Observations:

Inlets & Pre-Treatment Structures (Inspect in Spring and Fall)

- Repair needed:
- Debris & sediment removal required:

- Erosion evident:
- Water by-passing inlet:
- Vegetation control necessary:

- Observations:

Basin (Inspect after large storms for first two years, inspect yearly in spring or after large storms after first two years)

- Condition of infiltration area:
- Surface erosion evident:
- Debris/sediment removal required:
- Adequate drawdown/standing water:
- Vegetation control necessary:
- Observations:

Outlet/Emergency Overflow (Inspect in Spring and Fall)

- Overflow type:
- Debris/sediment removal required:
- Repair needed:

- Observations:

Temporary and Permanent Erosion Control Practices

BMPs proposed for temporary and permanent erosion control are shown on the erosion control plan sheets and are further identified as follows:

- Temporary Erosion Control Methods: All disturbed soil areas shall be temporarily mulched with Type 1 mulch within 7 days if the area is not being actively worked. Temporary seed mix 21-111 at a rate of 100 lbs./ac of Pure Live Seed will be used only in cases where disturbed soil areas are anticipated to remain unworked in excess of 7 days prior to placement of Type 1 mulch.
- Permanent Erosion Control Methods: Permanent erosion control will be achieved by using Seed Mixture 25-131 at a rate of 220 lbs./ac of Pure Live Seed, Type 2 Fertilizer with a composition of 0-10-20 at a rate of 200 lbs./ac, and Hydraulic Soil Stabilizer, Type 3 at a rate of 3900 lbs/ac on all disturbed construction areas.
- Temporary Sediment Control Methods: Silt fence or windrowed topsoil will be used as the primary control. Biorolls will be used as secondary control along each side of roadway at all low points and areas of high velocity drainage to prevent sediment from draining off roadway. Rock construction entrances shall be placed at all locations construction vehicles will be exiting the project area.

Permanent Stormwater Treatment System

The permanent stormwater treatment system consists of infiltration basins that serves the roadway and lot.

Drainage computations: Computations are kept on file with the SWPPP designer, Kramer Leas Deleo.

Construction Notes

Construction shall be governed by the MnDOT spec book (2018 edition) and the project manual. The owner/contractor shall keep and maintain the inspection and maintenance records.

Timing of BMP Installation

The erosion prevention and sediment control BMPs shall be installed as necessary to minimize erosion from disturbed surfaces and capture sediment on site and shall meet the NPDES permit part iv construction activity requirements.

Sequence of Construction Activities

Major construction activities that are subject to the SWPPP are shown below in the expected commencement order. This order does not necessarily imply that one activity will be complete before the next one begins. This order may be modified for site conditions. All activities shall be noted on the site map with start and end dates:

- Install temporary erosion control as shown on the plans.
- Conduct site grading of basins, berms, and swales.
- Temporarily seed denuded areas within 14 days (7 days for impaired water discharge).
- Construct roads.
- Complete permanent stabilization
- Submit notice of termination (NOT)

SWPPP Amendments

Amendment No.	Description	Date
---------------	-------------	------

General Construction Activity Requirements

- The contractor will need to identify an erosion control supervisor in good standing who will be knowledgeable, trained and experienced in the application of erosion prevention and sediment control best management practices.
- The erosion control supervisor will work with the project engineer to oversee the implementation of the SWPPP, and the installation, inspection, and maintenance of the erosion prevention and sediment control bmps before and during construction.
- The general contractor is responsible to comply with partii.b, part ii.c, and part iv of the construction stormwater permit.

- The contractor will develop a chain of command with all operators on the site to ensure that the SWPPP will be implemented and stay in effect until the construction project is complete, the entire site has undergone final stabilization, and a notice of termination (not) has been submitted to the MPCA.

- The contractor will prepare a written weekly schedule of proposed erosion control activities for the project engineers' approval as per MnDOT spec. 1717.2d.

- The contractor will prepare and submit a site plan for the project engineer's approval as per MnDOT spec. 1717.e for work in critical areas as identified on the plans or as requested by the project engineer.

- All erosion control measures shall be in place prior to any removal work and/or disturbing activities and shall be maintained until the potential for erosion has been eliminated.

- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than fourteen (14) days after the construction activity in that portion of the site has temporarily or permanently ceased. 7 days is required for discharge into an impaired water.

- A. In some instances, this may require stabilization to occur more than once during the project schedule.

- Work in drainage swales or the normal wetted perimeter of any surface water will require stabilization within 24 hours of connection. These areas will include all areas that drain water within 200 linear feet from the property edge or point of discharge to any surface water.

- Outlets into surface waters shall be stabilized with energy dissipation within 24 hours.

- All areas not being worked for a period of 14 days or more shall be temporarily stabilized according to the plans to prevent soil loss.

- Ditches and exposed soils must be kept in a smooth rough graded condition to be able to apply erosion control mulches and blankets.

- All exposed soil areas will be stabilized prior to the onset of winter. Any work still being performed will be snow mulched, seeded, or blanketed.

- Sediment control devices must be established on all down gradient perimeters before any up gradient land activities begin. The timing of the installation of the sediment control devices can be adjusted to accommodate short-term activities such as cleaning and

grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible, and the sediment control devices must be installed immediately after the activity is completed or prior to the next rainfall event.

- A Silt fence shall be installed so that it follows as close as possible to a single contour to capture overland, low-velocity sheet flows down gradient of all exposed soils and prior to discharging to surface waters with the silt fence j-hooked at a maximum of 100-foot intervals and shall contain no more than 1/4 acre of drainage area.

- Install temporary sediment basin where 10 or more acres drain to a common area. Provide storage equal to a 2-yr 24-hr storm for the area drained, and not less than 1800 cubic feet of storage below the outlet per acre drained to the basin. Provide perforated outlet pipe wrapped with filter fabric and covered with crushed gravel. Install stabilized emergency overflow and provide energy dissipation for basin outlet.

- Ditch checks will be installed as indicated on the plans during all phases of construction. Temporary ditch checks will consist of using rock ditch checks and rock weepers in front of culvert inlets. Biorolls will be installed during permanent turf establishment at the intervals identified in the plan or by the engineer.

- Sediment damage from stockpiles will be minimized by placing a row of silt fence 6 feet from the toe.

- All exposed stockpiles left for a period of 14 days shall be temporarily stabilized unless runoff discharges to an impaired water than stabilization shall be met within 7 days.

- Street surfaces shall be swept within 24 hours of discovery of sediment or tracking with a vacuum operated broom sweeper. No open broom sweepers allowed.

- Storm sewer inlets will be protected with the appropriate bmps for each specific phase of construction.

- The contractor will comply with the requirements regarding pollution prevention management during construction, which will include providing:

- Concrete washout facilities/ processes
- Solid waste collection and removal
- Secondary containment
- Hazardous waste storage containers and spill kits
- Licensed sanitary waste management handler for disposal of sanitary waste, portable toilets must be secure.
- The following telephone numbers are provided for assistance to the contractors and are not necessarily comprehensive; it is the responsibility of the individual contractor to make sure of proper notification.

Poison Control (800) 222-1222  
24 Hour Spill Emergency (800) 422-0798  
MPCA NPDES Permit Contact:

- Dewatering or basin draining activities of turbid, or sediment laden water will be discharged to temporary sediment basins whenever possible. In the event that it is not possible to discharge the sediment laden water to a temporary sediment basin, the water must be treated so that it does not adversely affect receiving waters or downstream landowners.

- The contractor will need to provide an erosion control supervisor who can inspect the site for NPDES permit compliance. Maintenance of all best management practices (bmps) will be required as set forth in the previously named sections. The erosion control supervisor will need to assist the owner with routine inspections of the entire construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. The following will be maintained on site with the SWPPP:

- A. Date and time of inspections
- B. Name of person conducting inspections
- C. Corrective actions taken
- D. Date and amount of all rainfall events greater than 0.5 inches in 24 hours
- E. Documents and changes made to the SWPPP
- F. Maintenance activities

- Maintenance will be performed within a period of 24 hours from a rainfall event or when the following occur:

- A. Silt fence becomes nonfunctional, or sediment reaches 1/3 the height of the fence.
- B. Inlet devices become nonfunctional, or sediment reaches 1/3 the height or depth of the device.
- C. Temporary sediment basin reaches 1/2 its storage volume.
- D. Tracked sediment is discovered on offsite paved roads.

SITE IMPROVEMENTS - STORAGE FACILITY  
JAY KENT  
SECTION 32, TOWNSHIP 137, RANGE 27  
CROSSLAKE, MN

SWPPP NARRATIVE

DATE:	05/05/2022
DESIGNED:	TAP
CHECKED:	TAP
SCALE:	AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: Tony A. Pohl LIC. NO. 56606

05/09/2022 DATE

PROJECT NO. KENTJ2201

NO.	REVISION SINCE INITIAL DATE OFRM/DD/YY	DATE



# STORMWATER POLLUTION PREVENTION PLAN MAPS

## SOILS



### MAP LEGEND

- | Area of Interest (AOI) |                               | Area of Interest (AOI) |                       |
|------------------------|-------------------------------|------------------------|-----------------------|
|                        | Its                           |                        | Spot Area             |
|                        | Sat Map Link Polygons         |                        | Story Spot            |
|                        | Sat Map Link Lines            |                        | Very Story Spot       |
|                        | Sat Map Link Points           |                        | Web Spot              |
|                        |                               |                        | Other                 |
|                        |                               |                        | Special Line Features |
|                        | <b>Special Point Features</b> |                        |                       |
|                        | Bloodcut                      |                        | <b>Water Features</b> |
|                        | Brown Pit                     |                        | Streams and Canals    |
|                        | Cray Spot                     |                        | Transportation        |
|                        |                               |                        | ++                    |
|                        | Coast Depression              |                        | Rails                 |
|                        | Gravel Pit                    |                        | Inertial Highways     |
|                        | Gravelly Spot                 |                        | US Routes             |
|                        | Lacertill                     |                        | Major Roads           |
|                        | Lava Flow                     |                        | Local Roads           |
|                        | Mud or Swamp                  |                        | <b>Background</b>     |
|                        | Mud or Quarry                 |                        | Aerial Photography    |
|                        | Mechanics Water               |                        |                       |
|                        | Perennial Water               |                        |                       |
|                        | Rock Outcrop                  |                        |                       |
|                        | Saline Spot                   |                        |                       |
|                        | Sandy Spot                    |                        |                       |
|                        | Severely Eroded Spot          |                        |                       |
|                        | Shrub                         |                        |                       |
|                        | State or Ship                 |                        |                       |
|                        | State Spot                    |                        |                       |

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web-Cell Contour Interval: 100'

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercat

projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Crow Wing County, Minnesota  
Survey Area Data: Version 47, Dec 10, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 13, 2021—Aug 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

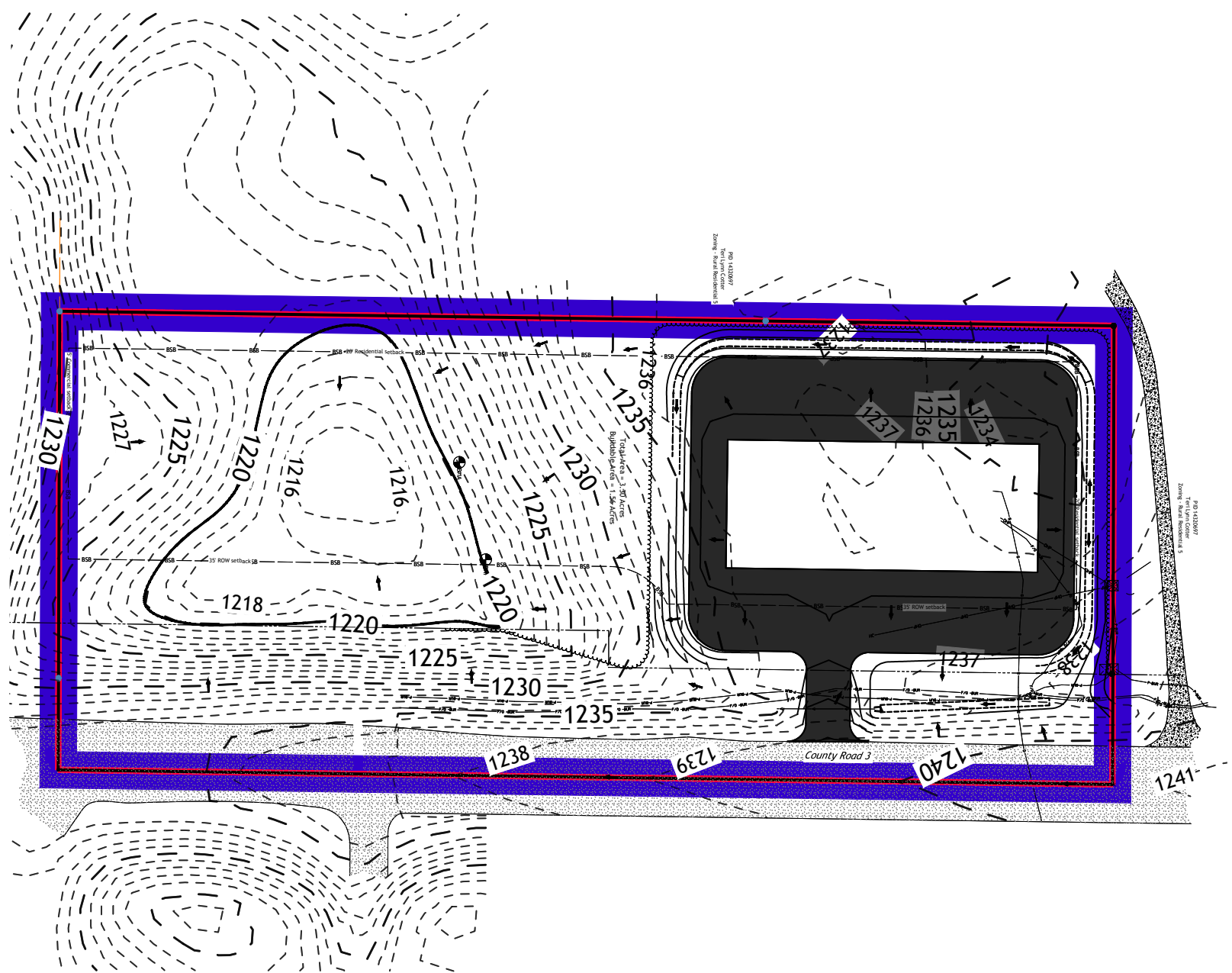
### Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
D46A	Grayclim heavy sand, 0 to 2 percent slopes	0.0	0.0%
D46B	Grayclim heavy sand, 2 to 8 percent slopes	6.7	100.0%
Totals for Area of Interest		6.7	100.0%

## SPECIAL WATERS



## DRAINAGE BOUNDARIES



EXISTING

PROPOSED

SITE IMPROVEMENTS - STORAGE FACILITY  
JAY KENT  
SECTION 32, TOWNSHIP 137, RANGE 27  
CROSSLAKE, MN

---

**SWPPP MAPS**

DATE: 05/05/2022

DESIGNED: TAP

CHECKED: TAP

SCALE: AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: Tony A. Pohl  
TONY A. POHL LIC. NO. 56606

05/09/2022  
DATE

PROJECT NO. KENTJ2201

[illegible]



DISCLAIMER  
OF  
WARRANTIES

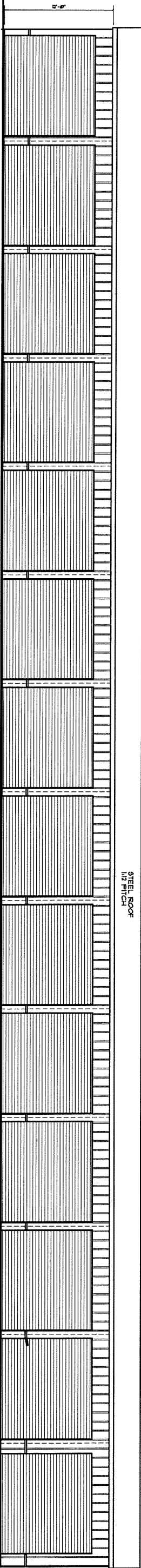
The above information was prepared upon request by draftsmen who are not registered architects or professional engineers and are for INFORMATION PURPOSES ONLY. THE DESIGN TEAM MAKES NO WARRANTIES WHATSOEVER, EITHER EXPRESSED OR IMPLIED, AS TO MERCHANTABILITY OF GOODS OR FITNESS FOR ANY PURPOSES. NO LIABILITY shall be assumed by the firm for any damages, claims or expenses upon said plans shall be assumed by the user. The selection of construction materials and the application of architectural principles is a process left to the builder, the owner, or the user of these plans.



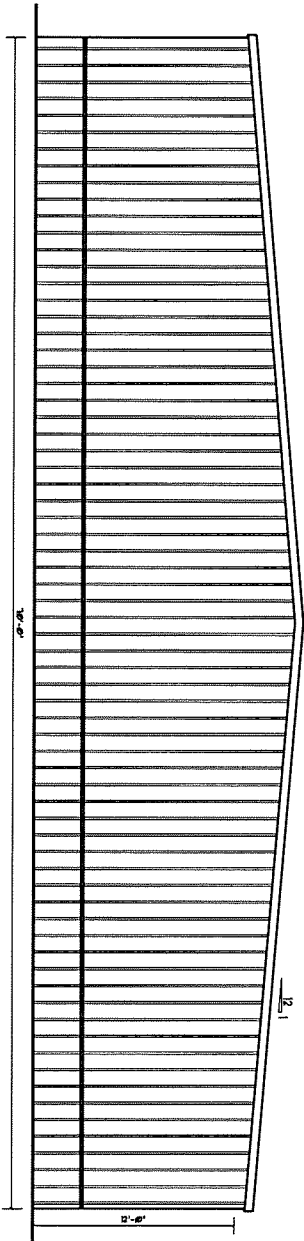
2455 12th Street SE, St. Cloud, MN 56304  
Phone: (320) 252-1517 Fax: (320) 252-1518

JAY KENT  
170'X70' STORAGE BUILDING  
28 UNITS

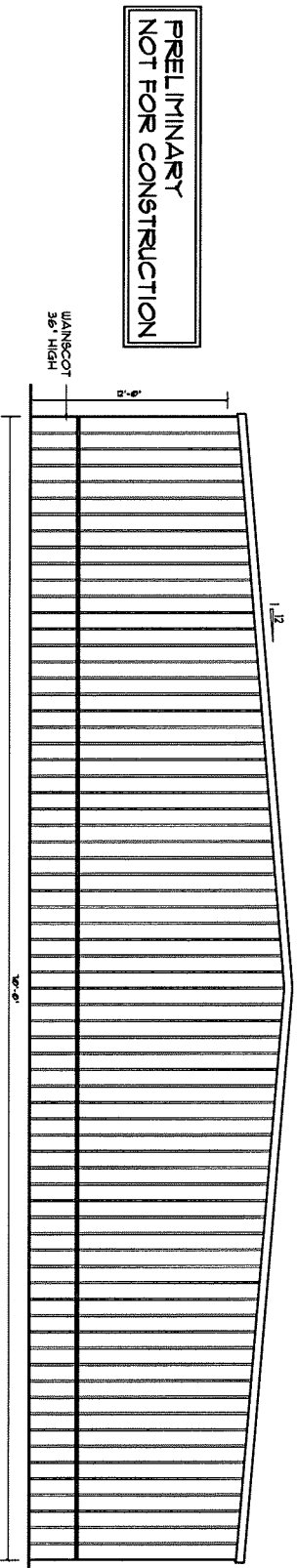
STORAGE BUILDING



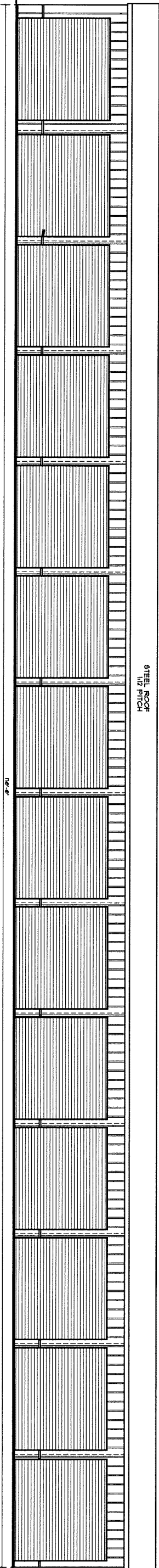
1 WEST ELEVATIONS  
NOT TO SCALE



2 NORTH ELEVATIONS  
NOT TO SCALE



2 SOUTH ELEVATIONS  
NOT TO SCALE



1 EAST ELEVATIONS  
NOT TO SCALE

JOB NUMBER		41422001
PLN NUMBER		4142200120
DATE	DRAWN	CKD
4/10/22	TP	
REVISION		
REVISION		
REVISION		
REVISION		
REVISION		
REVISION		

STORAGE BUILDING

A-1

COPYRIGHT INFORMATION

Architectural drawing of a steel roof structure. The drawing shows a side elevation of the roof, featuring a series of 11 vertical purlins supporting a corrugated steel roof deck. The purlins are labeled "11 PURLIN" at the bottom. The roof deck is labeled "STEEL ROOF" and "11 PURLIN" on the right side. The drawing includes dimensions and structural details.

Technical drawing of a window blind. The drawing shows a perspective view of the blind, which is composed of horizontal slats. The overall width is labeled as 12'-0" at the top. The height of the blind is labeled as 36" HIGH on the left side. The slats are labeled with a dimension of 1" x 2" on the right side. The drawing is oriented vertically on the page.

UNIT 14 11'-0" X 34'-3"	UNIT 13 11'-0" X 34'-3"	UNIT 12 11'-0" X 34'-3"	UNIT 11 11'-0" X 34'-3"	UNIT 10 11'-0" X 34'-3"	UNIT 9 11'-0" X 34'-3"	UNIT 8 11'-0" X 34'-3"	UNIT 7 11'-0" X 34'-3"	UNIT 6 11'-0" X 34'-3"	UNIT 5 11'-0" X 34'-3"	UNIT 4 11'-0" X 34'-3"	UNIT 3 11'-0" X 34'-3"	UNIT 2 11'-0" X 34'-3"	UNIT 1 13'-0" X 34'-3"
UNIT 15 11'-0" X 34'-3"	UNIT 16 11'-0" X 34'-3"	UNIT 17 11'-0" X 34'-3"	UNIT 18 11'-0" X 34'-3"	UNIT 19 11'-0" X 34'-3"	UNIT 20 11'-0" X 34'-3"	UNIT 21 11'-0" X 34'-3"	UNIT 22 11'-0" X 34'-3"	UNIT 23 11'-0" X 34'-3"	UNIT 24 11'-0" X 34'-3"	UNIT 25 11'-0" X 34'-3"	UNIT 26 11'-0" X 34'-3"	UNIT 27 11'-0" X 34'-3"	UNIT 28 13'-0" X 34'-3"

JOB NUMBER	41422001		
POLY NUMBER	4142200120		
DATE	4/10/22	DRYER	CRD
POLY-VIDEO		TP	
POLY-VIDEO			
POLY-VIDEO			
POLY-VIDEO			
POLY-VIDEO			

STORAGE BUILDING

2455 12th Street SE, St. Cloud, MN 56304  
Phone: (320) 252-1517 Fax: (320) 252-1518

# DISCLAIMER OF WARRANTIES

The plans submitted herewith were prepared upon request by defendant who are not registered architects or professional engineers. THESE PLANS ARE FOR INFORMATION PURPOSES ONLY. THE DESIGN TEAM MAKES NO WARRANTIES WHATSOEVER EITHER EXPRESSED OR IMPLIED AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE AND THE USER ASSUMES ALL LIABILITY FOR THE DESIGN. NO LIABILITY SHALL BE AT THE SOLE RISK OF THE USER(S). The selection of correct structural materials and the application of the design to the particular project is the responsibility for which rests with the builder, the owner, or the user of these plans.

**From:** [Mark Melby](#)  
**To:** [Cheryl](#)  
**Cc:** [Jory Danielson](#); [Tim Bray](#); [Rob Hall](#)  
**Subject:** RE: 3.9.2022 DRT Meeting Info  
**Date:** Tuesday, March 8, 2022 12:51:26 PM  
**Attachments:** [image001.png](#)  
[Application-Agency\\_Kent.pdf](#)  
[Application-Agency\\_Gibbs.pdf](#)

---

Kent Application – If the proposed storage facility proceeds, any upgrades to a commercial entrance will require a permit from the highway department. The County and/ or Assistant Engineers may offer additional comments.

Gibbs Application – No comments on the Gibbs application at this time.

Mark Melby  
Engineering Coordinator  
Highway Department  
Office - 218-822-2694  
Cell - 218-839-6207  
[www.crowwing.us](http://www.crowwing.us)



**Our Vision:** Being Minnesota's favorite place.  
**Our Mission:** Serve well. Deliver value. Drive results.  
**Our Values:** Be responsible. Treat people right. Build a better future.

Let us know how we are doing: [Customer Service Survey](#).

---

**From:** Cheryl <cstuckmayer@crosslake.net>  
**Sent:** Wednesday, February 23, 2022 1:04 PM  
**To:** Mark Melby <Mark.Melby@crowwing.us>  
**Subject:** 3.9.2022 DRT Meeting Info

Good Afternoon,

Please review the attachment(s). As always, any comments you would like to contribute to our meeting, please put in writing or present in person. The times of each application is indicated at the top of the application.

Respectfully,

**Cheryl Stuckmayer**  
**Planner – Zoning Coordinator**  
Crosslake Planning and Zoning Department





Conditional/Interim Use Permit Application  
Planning and Zoning Department  
13888 Daggett Bay Rd, Crosslake, MN 56442  
218.692.2689 (Phone) 218.692.2687 (Fax) [www.cityofcrosslake.org](http://www.cityofcrosslake.org)

Receipt Number: online #34803691

Permit Number: 220058

Property Owner(s): Jay Kent Prescription Properties LLC

Mailing Address: 9700 51st N, Lake Elmo, MN 55042-8594

Site Address: 33855 County Road 3

Phone Number: 651-335-1819

E-Mail Address: jaykent@me.com

Parcel Number(s): 14320698

Legal Description: E 250 FT OF S 575 FT OF NE1/4 OF NE1/4.

Sec 32 Twp 137 Rge 26 ☐ 27 ☒ 28 ☐

Land Involved: Width: 250' Length: 575' Acres: 3.3

Lake/River Name: n/a

Do you own land adjacent to this parcel(s)? Yes ☒ No ☐

If yes, list Parcel Number(s) \_\_\_\_\_

Authorized Agent: Kramer Leas Deleo

Agent Address: 1120 Industrial Park Road, Brainerd MN 56401

Agent Phone Number: 218-829-5333

Signature of Property Owner(s) Jay Kent / Kramer Leas Deleo

Date 5/4/2022

Signature of Authorized Agent(s) Jay Kent

Date 05/04/2022

- All applications must be accompanied by a site plan
- Fee \$500 for Residential and Commercial Payable to "City of Crosslake"
- No decisions were made on an applicant's request at the DRT meeting. Submittal of an application after DRT does not constitute approval. Approval or denial of applications is determined by the Planning Commission/Board of Adjustment at a public meeting as per Minnesota Statute 462 and the City of Crosslake Land Use Ordinance.

For Office Use:

Application accepted by PA Date 5/9/22 Land Use District LC Lake Class NA

Septic: Compliance To Be Abandoned SSTS Design Site suitability Installation 8/17/07

☐ (Check applicable requests)  
**Residential & Related Uses:**  
Specify  
☐ Shoreland District  
☐ Rural Residential District (5 A Min.)  
☐ Sensitive Shoreland District  
☐ Limited Commercial District  
☐ Downtown Commercial District  
☐ Waterfront Commercial District  
☐ Commercial/Light Industrial District

☐ **Recreational Uses:**  
Specify  
☐ Shoreland District  
☐ Rural Residential District (5 A Min.)  
☐ Limited Commercial District  
☐ Waterfront Commercial District  
☐ Commercial/Light Industrial District

☐ **Civic, Edu & Institutional Uses:**  
Specify  
☐ Shoreland District  
☐ Rural Residential District (5 A Min.)  
☐ Limited Commercial District  
☐ Waterfront Commercial District  
☐ Commercial/Light Industrial District

☒ **Commercial & Industrial Uses:**  
Specify Rental Storage  
☐ Shoreland District  
☐ Rural Residential District (5 A Min.)  
☐ Sensitive Shoreland District  
☒ Limited Commercial District  
☐ Downtown Commercial District  
☐ Waterfront Commercial District  
☐ Commercial/Light Industrial District



City of Crosslake Planning Commission/Board of Adjustment

Conditional Use Permit Application

Findings of Fact

Supporting/Denying a Conditional Use Permit Request

*Findings shall be made in either recommending approval or denial of a Conditional Use Permit application, and should reference Chapter 26, Article 7 of the City of Crosslake Ordinance. The following questions are to be considered, but are not limited to:*

- (1) Will the proposed use impact the health, safety, and general welfare of the occupants in the surrounding neighborhood?

YES ☐ NO ☒

Why? No, there is currently the same use just north of the site that is currently not impacting the health, safety, and general welfare of the occupants in the surrounding neighborhood.

Surrounding residential homes are currently closer to the same use prior to this development

- (2) Does the proposed use meet the standards of this Chapter?

YES ☒ NO ☐

Why? Yes, to best of our knowledge, the proposed use meets the standards of Chapter 26, Article 7.

- (3) Will the proposed use meet goals and policies adopted within the Crosslake Comprehensive Plan?

YES ☒ NO ☐

Why? Defer to the Planning Commission

- (4) Will the proposed use adversely affect property values and future development of the land in the surrounding neighborhood?

YES ☐ NO ☒

Why? No, currently the neighborhood is majority developed commercial.

The addition of another developed commercial lot would not adversely affect property values and future development of the land in the surrounding neighborhood

- (5) Will the proposed negatively impact public utility, public services, roads and schools?

YES ☐ NO ☒

Why? No, the location of the existing driveway entrance will be utilized for access.

Proposed improvements/impacts will remain within the parcel.

- (6) Will the proposed use impact the environment adversely, considering its impact on groundwater, surface water and air quality?

YES ☐ NO ☒

Why? The proposed improvements meet the requirements of the MPCA for stormwater discharge. .

No pollutants are proposed to be generated on the site

- (7) Are the water supply, public sewer or subsurface sewage treatment system facilities, erosion control and stormwater management provided for pursuant to applicable standards of the Ordinance?

YES ☒ NO ☐

Why? No sewer or water systems are proposed as apart of this project.

Stormwater management is provided and meets state and local rules/regulations.

City of Crosslake Planning Commission/Board of Adjustment

Conditional Use Permit Application

Findings of Fact

Supporting/Denying a Conditional Use Permit Request

*Findings shall be made in either recommending approval or denial of a Conditional Use Permit application, and should reference Chapter 26, Article 7 of the City of Crosslake Ordinance. The following questions are to be considered, but are not limited to:*

- (1) Will the proposed use impact the health, safety, and general welfare of the occupants in the surrounding neighborhood?

YES ☐ NO ☐

Why?

- (2) Does the proposed use meet the standards of this Chapter?

YES ☐ NO ☐

Why?

- (3) Will the proposed use meet goals and policies adopted within the Crosslake Comprehensive Plan?

YES ☐ NO ☐

Why?

- (4) Will the proposed use adversely affect property values and future development of the land in the surrounding neighborhood?

YES ☐ NO ☐

Why?

- (5) Will the proposed negatively impact public utility, public services, roads and schools?

YES ☐ NO ☐

Why?



(6) Will the proposed use impact the environment adversely, considering its impact on groundwater, surface water and air quality?

YES ☐ NO ☐

Why?

(7) Are the water supply, public sewer or subsurface sewage treatment system facilities, erosion control and stormwater management provided for pursuant to applicable standards of the Ordinance?

YES ☐ NO ☐

Why?