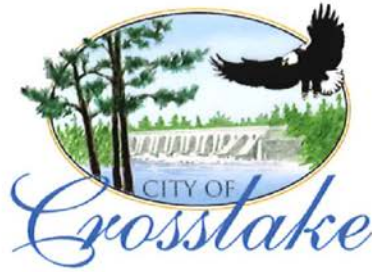


City Hall: 218-692-2688  
Planning & Zoning: 218-692-2689  
Fax: 218-692-2687



13888 Daggett Bay Rd  
Crosslake, Minnesota 56442  
[www.cityofcrosslake.org](http://www.cityofcrosslake.org)

---

## **CITY OF CROSSLAKE**

### **PLANNING COMMISSION/BOARD OF ADJUSTMENT**

**February 23, 2024**

**9:00 A.M.**

Crosslake City Hall  
13888 Daggett Bay Rd, Crosslake MN 56442  
(218) 692-2689

### **PUBLIC HEARING NOTICE**

**Applicant:** Crosslake Trio LLC

**Authorized Agent:** Jordan Severance, Superior Contracting Co LLC

**Site Location:** 35494 Co Rd 3, Crosslake, MN 56442

**Request:**

- Conditional Use Permit for a self-pour taproom

**Notification:** Pursuant to Minnesota Statutes Chapter 462, and the City of Crosslake Zoning Ordinance, you are hereby notified of a public hearing before the City of Crosslake Planning Commission/Board of Adjustment. Property owners have been notified according to MN State Statute 462 & published in the local newspaper. Please share this notice with any of your neighbors who may not have been notified by mail.

**Information:** Copies of the application and all maps, diagrams or documents are available at Crosslake City Hall or by contacting the Crosslake Planning & Zoning staff at 218-692-2689. Please submit your comments in writing including your name and mailing address to Crosslake City Hall or ([crosslakepz@crosslake.net](mailto:crosslakepz@crosslake.net)).



## STAFF REPORT

Property Owner/Applicant: Crosslake Trio LLC

Parcel Number(s): 14210755

Application Submitted: January 8, 2024

Action Deadline: March 7, 2024

City 60 Day Extension Letter sent / Deadline: NA / NA

Applicant Extension Received / Request: NA / NA

City Council Date: NA

**Authorized Agent:** Sandra Krienke

**Request:**

Conditional Use Permit for a self-pour taproom

**Current Zoning:** Limited Commercial

**Adjacent Land Use/Zoning:**

North – Downtown Commercial

South – Rural Residential 5 (RR5), Shoreland, Limited Commercial

East – Limited Commercial & Public

West – Limited Commercial

**Parcel History:**

- March 1987 – CUP gift shop with rental space for office or similar
- June 1987 – building 42'x24', garage 16'x24', septic
- June 1992 – addition to back of building 36'x40'
- June 1996 – update septic
- May 1998 – 36'x40' retail addition
- August 2004 – connect to the municipal sewer system
- October 2022 - change of use
- May 2023 – Deck
- July 2023 – CUP for event center denied

**City Ordinance:**

Liquor on and/or off sale – Allowed in Limited Commercial zoning with an approved conditional use permit (Article 10, Sec. 26-281)

**Agencies Notified and Responses Received:**

**County Highway Dept:** Comment(s) received

**DNR:** No comment received before packet cutoff date

**City Engineer:** N/A

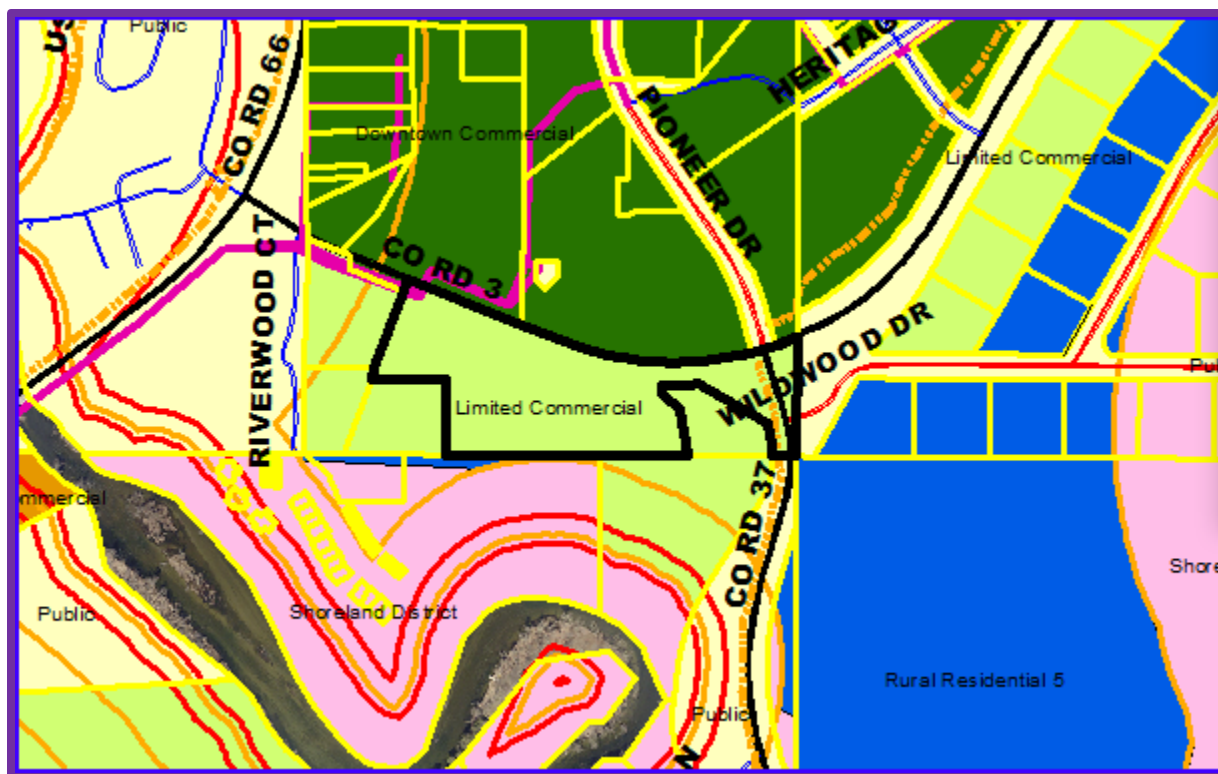
**Lake Association: No comment received before packet cutoff date**  
**Crosslake Public Works: No comment received before packet cutoff date**  
**Crosslake Park, Recreation & Library: N/A**  
**Concerned Parties: Comment(s) received**

**POSSIBLE MOTION:**

To approve/table/deny the Conditional Use Permit for a self-pour taproom involving approximately 6.6 acres located at 35494 County Rd 3, City of Crosslake

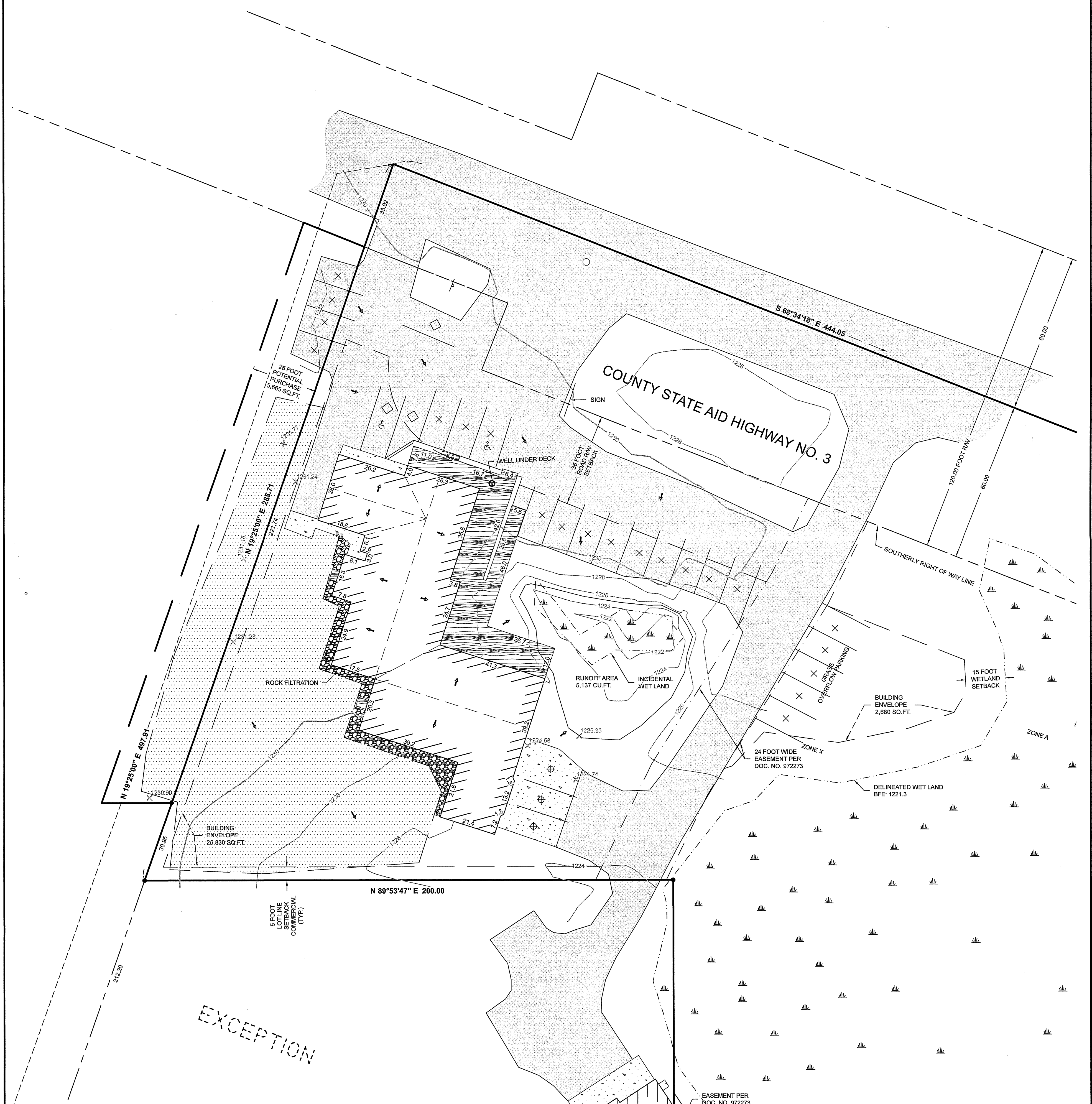
**POSSIBLE CONDITIONS:**

To be discussed at the on-site and the public hearing meeting  
\*Crow Wing County Highway comments attached could be addressed in the conditions  
-the two western access driveways to be consolidated into one  
-any future road requirements due to the approval of this CUP to be the financial responsibility of the owner



# CERTIFICATE OF SURVEY

PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER,  
SECTION 21, TOWNSHIP 137 NORTH, RANGE 27 WEST,  
CROW WING COUNTY, MINNESOTA  
TOTAL AREA: 285,787 SQ.FT. / 6.6 ACRES  
AREA LESS R/W: 190,895 SQ.FT.



EXCEPTION

### LEGEND

- DENOTES EXISTING RETAINING WALL
- DENOTES EXISTING SIGN(S)
- DENOTES EDGE OF EXISTING BITUMINOUS
- DENOTES EDGE OF EXISTING CONCRETE
- DENOTES EDGE OF EXISTING GRAVEL
- DENOTES EDGE OF EXISTING WOODEN DECKING
- 1208— DENOTES EXISTING INTERMEDIATE CONTOURS
- 1210— DENOTES EXISTING INDEX CONTOURS
- X 1234.5 DENOTES SPOT ELEVATION (EXISTING GRADE)
- DENOTES WET LAND(S)
- DENOTES EXISTING PHONE PEDESTAL & PHONE BOX
- DENOTES EXISTING WELL
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING SEPTIC VENT, SEPTIC CLEANOUT, & SEPTIC TANK LID
- DENOTES EXISTING SURFACE DRAINAGE FLOW
- DENOTES MONUMENT FOUND

### PARKING DESIGNATION:

- ◇ DENOTES THE NORTH SALON PARKING  
2 GENERAL & 1 HANDICAP
- ⊕ DENOTES OFFICE PARKING  
3 PARKING SPOTS
- × DENOTES UPNORTH SOCIAL PARKING  
15 GENERAL, 5 OVERFLOW & 1 HANDICAP

### IMPERVIOUS CALCULATIONS

EXISTING	IMPERVIOUS AREA (sq.ft.)	Net Area (sq.ft.)	Percent Impervious (sq.ft.)
Building	6,022	190,895	3.2%
Bituminous	12,549	190,895	6.6%
Concrete	1,100	190,895	0.6%
Gravel	8,042	190,895	4.2%
<b>Total</b>	<b>27,713</b>	<b>190,895</b>	<b>14.5%</b>

Net Area is Total Area less Right-of-Way.

### RUN OFF CALCULATIONS

Total Impervious Surface Area	27,713 sq. ft.	×	0.0833 ft.	=	2,308 cu. ft.
(from table above)					

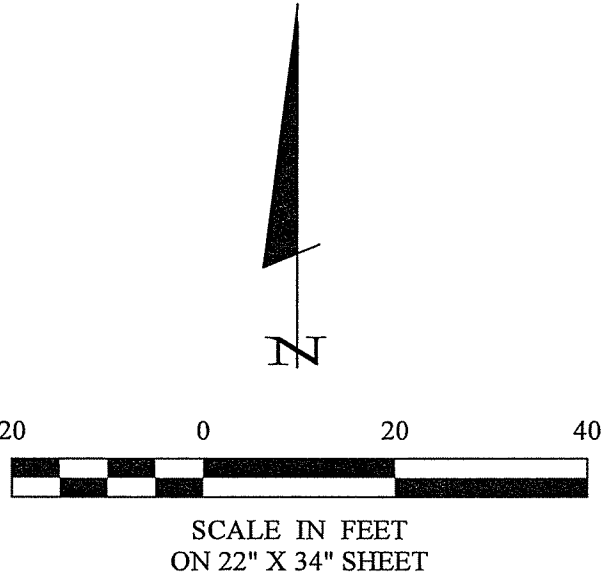
### EXISTING RUN OFF AREA

EXISTING RUN OFF AREA = 5,137 CU. FT.

### NOTES:

- Contour interval as shown = 2 foot. Based on NGVD 29 datum. Contours shown in the detail area have been obtained using standard survey topographic methodologies. Field located on 3-22-2023.
- Zoning for subject tract = "Limited Commercial".
- There are no bluffs within surveyed property.
- Wetlands delineated by Ben Meister, MWPCP#1031 on 4-05-2023.
- Parcel ID of subject parcel: 14210755.
- The E911 address of subject parcel: 35494 County Road 3.
- For overall Boundary of property see Certificate of Survey drawing, SHEET 1, signed by Patrick A. Trotter on 6-06-2023 Stonemark File# 23044
- Setbacks as shown can be subject to interpretation. Verification of setbacks by the governing body is advised prior to building.
- Total of 27 parking stalls:  
22 existing parking stalls (4 being offsite) and 5 overflow parking stalls in grass area.  
2 stalls designated for the Salon  
3 stalls designated for Office space (used by the Tap House after office hours)  
22 stalls designated for the Tap House.
- Property is in "Zone X" and "Zone A" as per the FIRM, Flood Insurance Rate Map. "Zone A" definition: Areas of 100-year flood base elevations and flood hazard factors not determined. "Zone X" definition: Areas of minimal flooding.

ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE SOUTH LINE OF THE SE 1/4-NW 1/4 TO HAVE AN ASSUMED BEARING OF S 89°53'47" W.



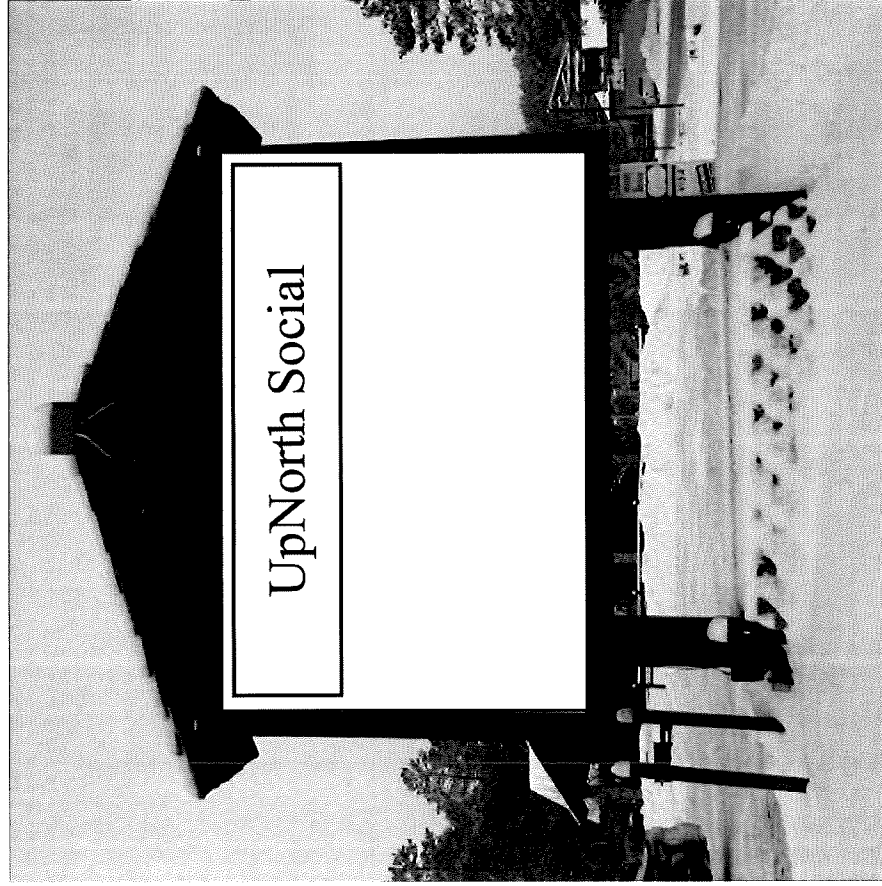
1 30 I	CERTIFICATE OF SURVEY		
	PROJECT MANAGER:	PROJECT No.:	DATE:
	Jordan Severance	23044-1	12-11-2023
	Superior Contracting Co. LLC.	FILE NAME:	SCALE:
5684 County Road 145	C23044 sht 2.dwg	HORZ. 1"=20'	
Pequot Lakes, MN 56472	DRAWN BY:	FIELD BOOK:	
	RJF	BOOK PG.	VERT. NONE

DATE	DESCRIPTION	BY
1-8-2023	Addet Parking Designation	CMH

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.		
<i>Patrick A. Trotter</i>		
PATRICK A. TROTTER FLS#41002		
DATE:	1-08-2024	LIC. NO. 41002

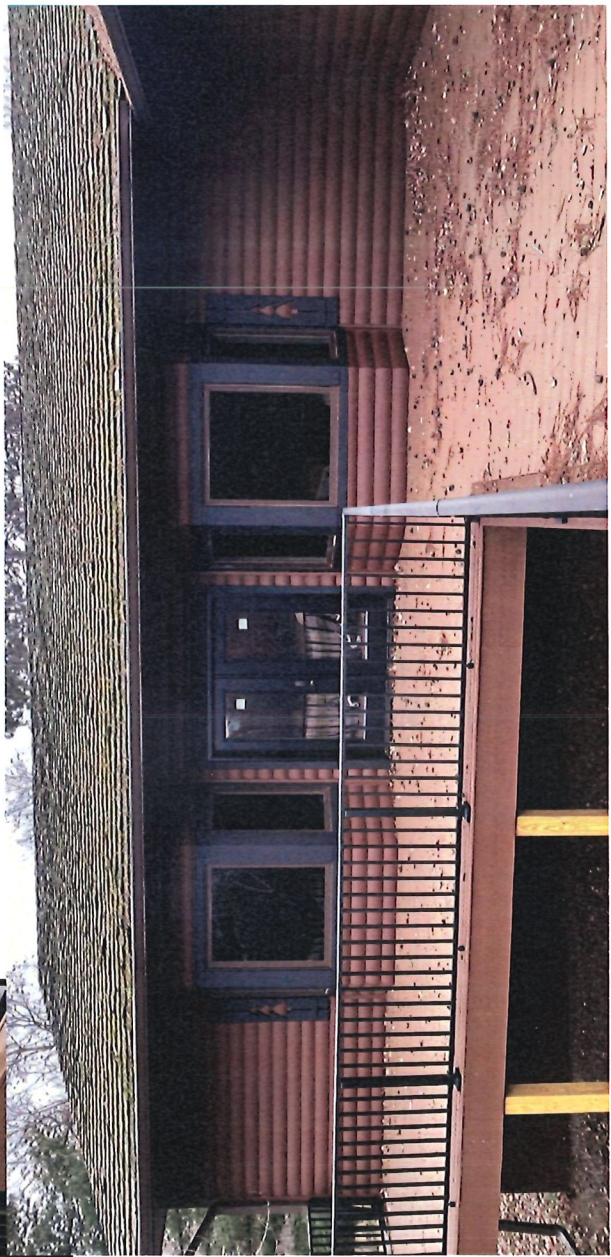
30206 Rasmussen Road Suite 1 P. O. Box 874 Pequot Lakes, MN 56472 218-568-4940 www.stonemarksurvey.com	

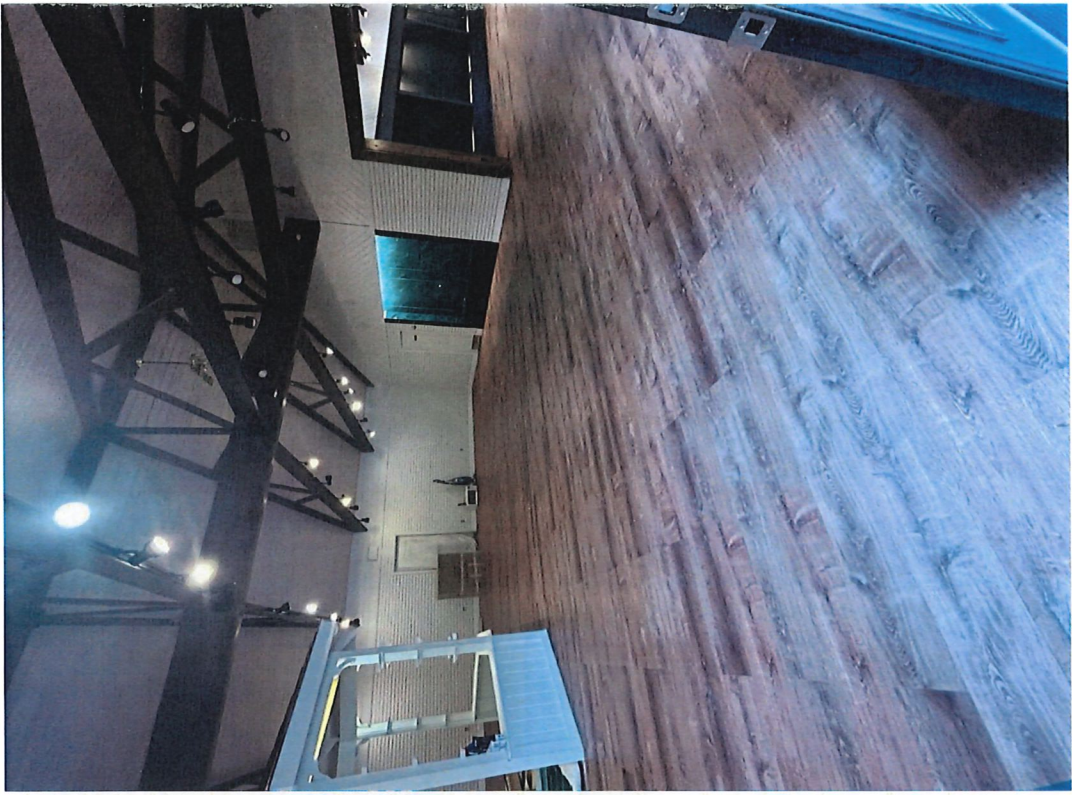
Exterior sign – UpNorth Social will have 1/3 of the space for signage on both sides



5 can lights to be installed on exterior  
UpNorth Social sign to be installed on side of building





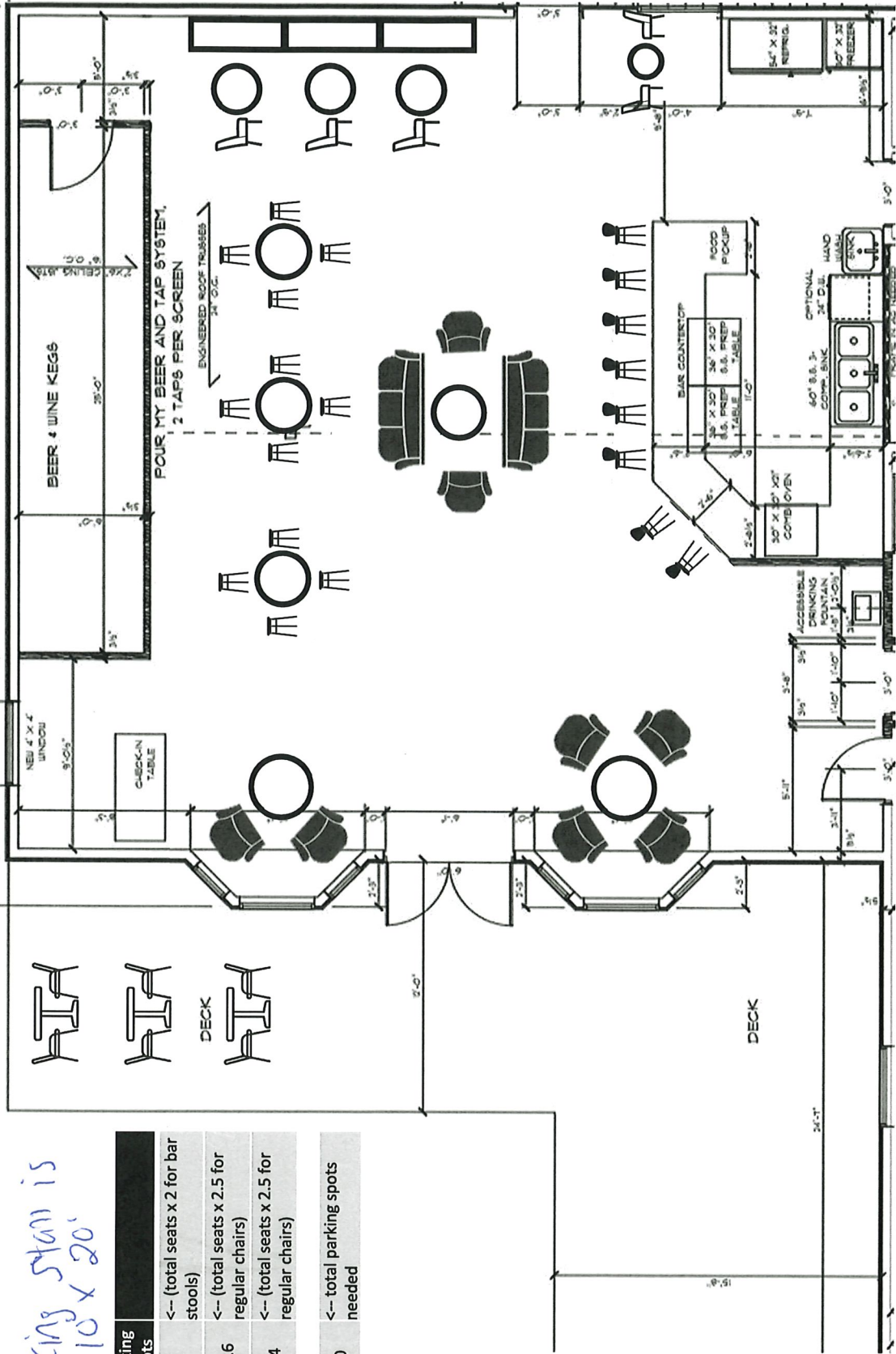




300 sf office = 1  
 300 sq. ft. office space = 1  
 24 x 20' The Norm Salon = 480 sf

Handicap = 1  
 2 Kegs

each parking stall is 10 x 20'



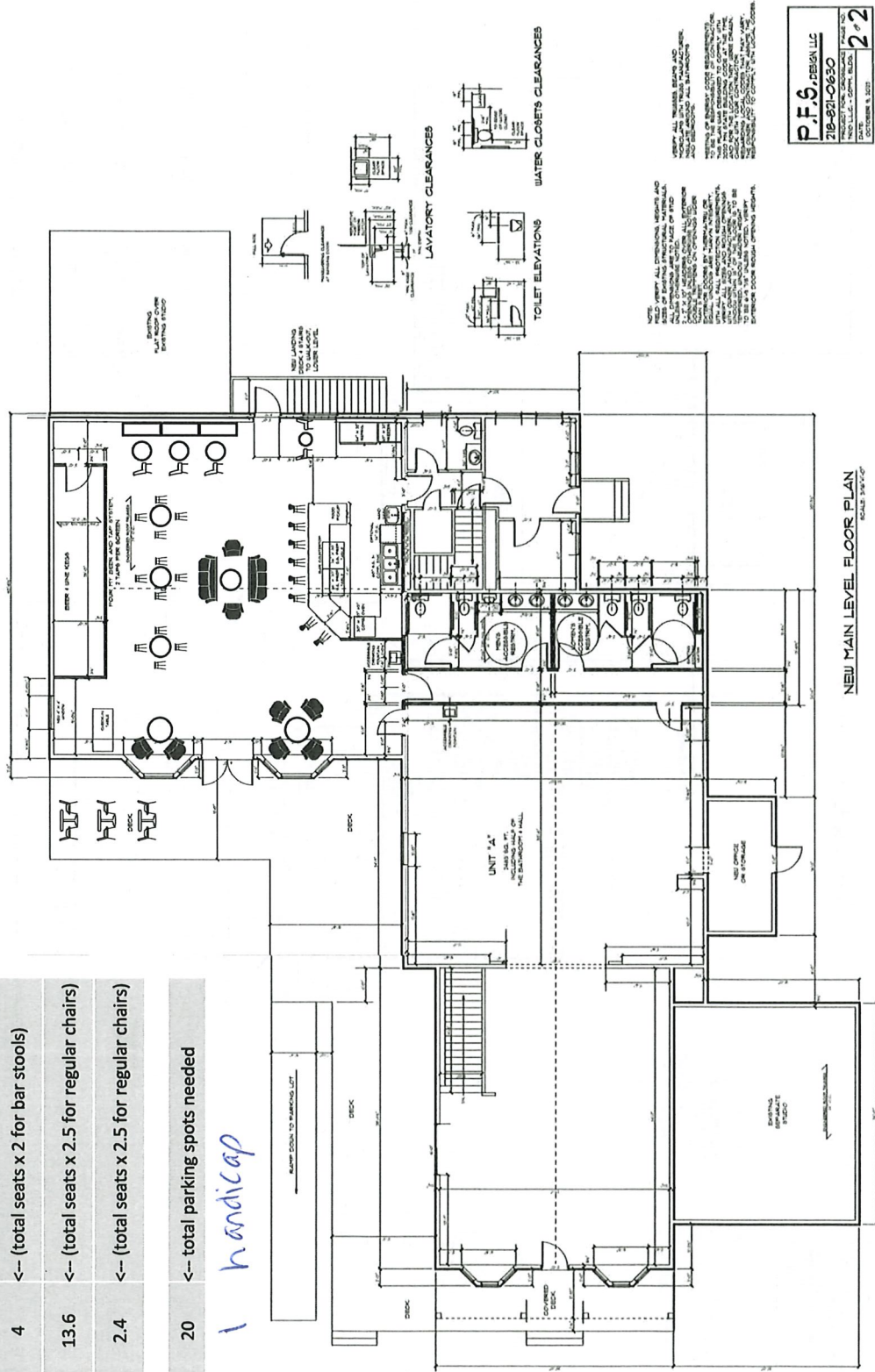
	Total seating	Parking spots
bar stools	8	4
chairs inside	34	13.6
chairs outside	6	2.4
total	48	20

602

90 Impervious parking

	Total seating	Parking spots
Bar stools	8	4
Chairs inside	34	13.6
Chairs outside	6	2.4
<b>Total</b>	<b>48</b>	<b>20</b>

1 handicap



NEW MAIN LEVEL FLOOR PLAN  
SCALE 3/8" = 1'-0"

VERIFY ALL DIMENSIONS, MATERIALS AND FINISHES WITH THE ARCHITECT. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**P.F.S. DESIGN LLC**  
718-481-0030  
100 WEST 10TH STREET, SUITE 200  
NEW YORK, NY 10011  
OCTOBER 8, 2022  
REVISED OCTOBER 11, 2022

2 of 2

## ARTICLE 26 PARKING AND OFF STREET LOADING STANDARDS

### Sec. 26-670 Purpose

Regulation of commercial on-site parking and loading spaces in this Article is intended to alleviate and/or prevent congestion of the public right-of-way and to promote the safety and general welfare of the public by establishing minimum requirements.

### Sec. 26-671 Application

- (1) The regulations and requirements set forth herein shall apply to all commercial on-site parking facilities created or constructed after March 1, 2015 within the city.
- (2) All commercial construction shall be accompanied by a site plan or certificate of survey, if required, indicating the location of on-site parking and loading spaces in compliance with the following requirements.

### Sec. 26-672 Parking Areas Performance Standards

- (1) **General parking standards.** All land use permit applications for commercial uses or buildings submitted after March 1, 2015 shall include provisions for off-street parking according to the following standards unless approved for alternative parking standards in 26-672, (2) below.
  - a. The minimum parking space requirements in Table 26-672A shall be met.
  - b. When a commercial structure is enlarged, off-street parking spaces shall be added to meet the minimum parking space requirements in Table 26-672A.
  - c. If the use of a commercial structure is changed to a different use requiring additional spaces, the additional parking spaces shall be provided.
  - d. All new commercial off-street parking shall be paved or concrete surfaced.
  - e. The minimum size of all parking spaces shall be 10 feet wide by 20 feet long (10' x 20').
- (2) **Alternative parking standards:**
  - a. The Zoning Administrator may approve alternative parking standards if it is determined that such standards are appropriate for a business or use. An application for alternative parking standards may be submitted if:
    - i. A new business or use wishes to defer construction of a portion of the required parking spaces until a future date, or,
    - ii. A parking study indicates that fewer parking spaces are required, or,
    - iii. Maximum parking capacity is needed only on a seasonal or special event basis and overflow parking can be accommodated using a designated pervious vegetated area, or,
    - iv. Parking spaces are shared with another business or group of businesses.
    - v. Boat slip parking may be an appropriate alternative at Waterfront Commercial establishments at a 2 to 1 ratio of existing dock spaces to required motor vehicle spaces.
  - b. An application for alternative parking standards shall include:
    - i. For deferred parking construction, a site plan indicating the area reserved to meet the minimum parking space requirements in Table 26-672A along with a parking construction schedule indicating when the total number of required parking spaces will be completed.
    - ii. For reduced parking space requirements, a parking study indicating the actual history of past parking use or parking use by similar businesses. An area to

- accommodate additional parking spaces to meet the minimum parking space requirements in Table 26-672A shall be preserved as open space.
- iii. For overflow parking, a site plan indicating the vegetated area that is reserved for parking, stabilization treatment of the parking area (geo-grid, etc) if any, and how stormwater is to be managed.
- iv. For shared parking, a plan indicating the minimum parking requirements for all businesses, the number of parking spaces to be shared, and the location of shared spaces relative to the businesses. There shall be no more than 1/8 mile between the shared parking location and the business(s).
- v. For boat slip/dock space, a site plan indicating the dock configuration and identifying the existing docking spaces that are available. Boat docking spaces may not be shared (i.e. item iv above).
- c. Alternative parking performance standards:
  - i. Total parking spaces required in table 26-672A shall be used when calculating impervious surfaces, measuring setbacks, and determining other requirements for parking areas.
  - ii. For deferred parking construction applications, a minimum of 50% of the required parking spaces shall be constructed within two years of permit approval.
  - iii. For reduced parking space requirement applications, an area to accommodate additional parking spaces to meet the minimum parking space requirements in Table 26-672A shall be preserved as open space for future parking. Within 3 years from the date of permit approval, the applicant shall submit a follow up report on parking usage. If, after reviewing the follow up report, the Zoning Administrator finds that additional parking area is required, such parking spaces shall be added.
  - iv. For vegetated overflow parking applications, the total parking area must meet the minimum parking space requirements in Table 26-672A. A maximum of 40% of the total required parking spaces may be vegetated overflow parking. Overflow parking areas must be preserved as open space. No sediment from vegetated overflow parking areas shall be transported onto public roads or streets.
  - v. For shared parking applications, an easement, or in the case of shared wall construction a party wall easement or planned community agreement, between the participating landowners shall be recorded in the office of the County Recorder and a copy submitted to the Department specifying the number and location of shared parking spaces, who is authorized to use the shared spaces and under what conditions, how access to those spaces is achieved from a public street or road, and a plan indicating how the shared parking spaces will be managed and maintained. Within 3 years from the date of permit approval, the applicant(s) shall submit a follow up shared parking report. If, after reviewing the follow up report, the Zoning Administrator finds that additional parking area is required, such parking spaces shall be added.
  - vi. For boat dock parking applications, no less than 2 existing boat slip/spaces shall count towards one vehicle parking space and shall not account for more than 30% of the overall parking space requirements. No handicapped spaces may be substituted with boat docking spots.

**Table 26-672A Minimum Required Parking Spaces**

FACILITY OR USE	MINIMUM REQUIRED PARKING SPACES
Auto body or repair shop, vehicle sales— automobile, boat, recreational equipment	1 space for each 300 square feet of gross floor area
Bed and breakfast residence	2 spaces plus one additional space for each rented room
Bowling lanes	5 spaces for each alley, plus additional spaces as may be required herein for related uses such as a restaurant
Carwash	3 spaces

Church, funeral home, theater, auditorium, athletic field, arena, race track, event center or other places of gathering	1 space for each 4 seats based on maximum design capacity, arrangement for additional parking are required if larger outside events are held beyond the indoor capacity established by the fire code.
Community center, post office, studio, library, club, lodge, museum, or public building	10 spaces plus 1 for each 350 square feet of floor area in excess of 2,000 square feet in the principal building
Daycare facility	4 spaces plus 1 for each 500 square feet in excess of 1,000 square feet of floor area in the principal building
Drive-in food establishment	1 space per 15 square feet of gross area excluding kitchen and dining area, or based on total seat calculations like restaurants, or a minimum of 8 spaces where there is no interior ordering area, whichever is greater
Assisted care home, rest home, or nursing home	1.9 spaces per bed, plus 1 space per 300 square feet of gross floor area for any outpatient medical facilities
Gas station, convenience store w/fuel sales	4 spaces plus 2 spaces for each fueling stall
Home business or home occupation	2 spaces in addition to those required for the residence
Hotel, motel	1.4 spaces per unit
Manufacturing-- fabrication, or processing of a product or material, assembly; contractor services, machine shop	1 space for each 400 square feet of floor area
Medical, dental, or veterinary clinic	1 space for each 300 square feet of gross floor area
Multispecialty outpatient clinic	1 space for each 200 square feet of gross floor area
Multi-family residence	2 spaces per unit
Office—business or professional, office building, bank or financial institution	1 space for each 300 square feet of gross floor area
Open sales lot	3 spaces for each 5,000 square feet of the open sales lot area
Public auction house, golf driving range, miniature golf, and similar uses	15 spaces plus 1 for each square foot of floor area over 2,000 square feet
Restaurant, cafe, bar, tavern, nightclub	1 space for each 2.5 seats for restaurant area; 1 space for each 2.0 seats in bar area
Retail sales and service establishment, light equipment repair shop, rental equipment sales and service, adult use, and convenience store	1 space for each 250 square feet of gross sales floor area
School	1 space for each 7 students based on design capacity, plus 2 additional spaces for each classroom
Skating rink, amusement park, or dance halls	100 spaces plus 1 for every 200 square feet of floor area in the principal building
Speculative building (use not known) for industrial	1 space for every 700 square feet of floor area
Uses not specifically noted	Determined by the Zoning Administrator
Warehouse/storage handling of bulk goods, wholesaling	1 space for each 1,000 square feet of floor area plus 1 for each truck loading bay

## Sec. 26-673 Handicapped Accessible Parking Requirements

- (1) The Minnesota Accessibility Code, as may be amended, shall govern and regulate all accessible parking standards and improvements within the city. The scoping requirements are found in the International Building Code (IBC), chapter 11-2006; the ICC/ANSI A117.1-2003 technical criteria; state amendments found in Minn. Rules ch. 1341-2007; and the International Residential Code (IRC), including, but not limited to, section R322.1.
- (2) The number of accessible parking spaces to be provided shall be determined by the following table:

**Table 26-673A Minimum Number of Accessible Spaces**

<b>Total Parking Spaces Provided</b>	<b>Required Minimum Number of Accessible Spaces</b>
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2 percent of total
1,001 and over	20 plus 1 for each 100, or fraction thereof, over 1,000

**Sec. 26-674 Access**

- (1) Commercial parking areas containing six or more parking spaces must use a restricted access between the parking area and the adjacent road or street.
- (2) In situations where access is shared between multiple commercial landowners, an easement, or in the case of shared wall construction a party wall easement or planned community agreement, between the participating landowners shall be recorded in the office of the County Recorder and a copy submitted to the Department specifying where the shared access is located, who is authorized to use the shared access and under what conditions, and a plan indicating how the shared access will be managed and maintained.

**Sec. 26-675 Commercial Off Street Loading Standards**

Space for off-street loading and unloading of service vehicles shall be provided for all commercial buildings constructed after March 1, 2015.

- (1) One off-street loading space shall be provided for every 10,000 square feet of floor area, or fraction thereof.
- (2) For commercial buildings in the commercial/light industrial land use district, off-street loading spaces shall measure at least 10 feet in width and 60 feet in length.
- (3) For commercial buildings in the waterfront commercial, limited commercial, and downtown commercial districts, off-street loading spaces shall measure at least 10 feet in width and 35 feet in length.
- (4) Off street loading shall not impact traffic flow on adjacent public roads or streets.

**Secs. 26-676—26-701 Reserved**

**ARTICLE 27 RESIDENTIAL DEVELOPMENT STANDARDS**

**Sec. 26-702 Policy**

## Cheryl Stuckmayer

---

**From:** jordanseverance <jordanseverance@gmail.com>  
**Sent:** Wednesday, January 10, 2024 6:14 PM  
**To:** Skrienke99@gmail.com; cstuckmayer@crosslake.net  
**Subject:** FW: PID 10214755 Incidental Wetland

Thank you,  
Jordan Severance  
218-330-9461

----- Original message -----

**From:** Ben Meister <benmeister45@gmail.com>  
**Date:** 1/10/24 5:56 PM (GMT-06:00)  
**To:** jordanseverance@gmail.com  
**Cc:** superiorcontractingcollc@gmail.com  
**Subject:** PID 10214755 Incidental Wetland

Hello Jordan,

An **incidental wetland** is a wetland that was created in a non-wetland (upland) area solely by actions, the purpose of which was not to create wetland (e.g. incidental wet ditches and stormwater ponds).

In this situation, the development around this depression has caused water to pond at the bottom of it with no outlet, thus creating an incidental wetland at the bottom of the depression. The incidental wetland is not mapped by the National Wetland Inventory (NWI) and not in an area of mapped hydric soils.

Wetland A, which is located just east of here, is primarily located between the 1220-1222 contour where no disturbance has occurred. The incidental wetland is located at the 1224 contour.

Incidental wetlands are not under the jurisdiction of the MN Wetland Conservation Act or Section 404 of the Clean Water Act.

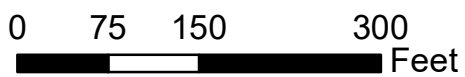
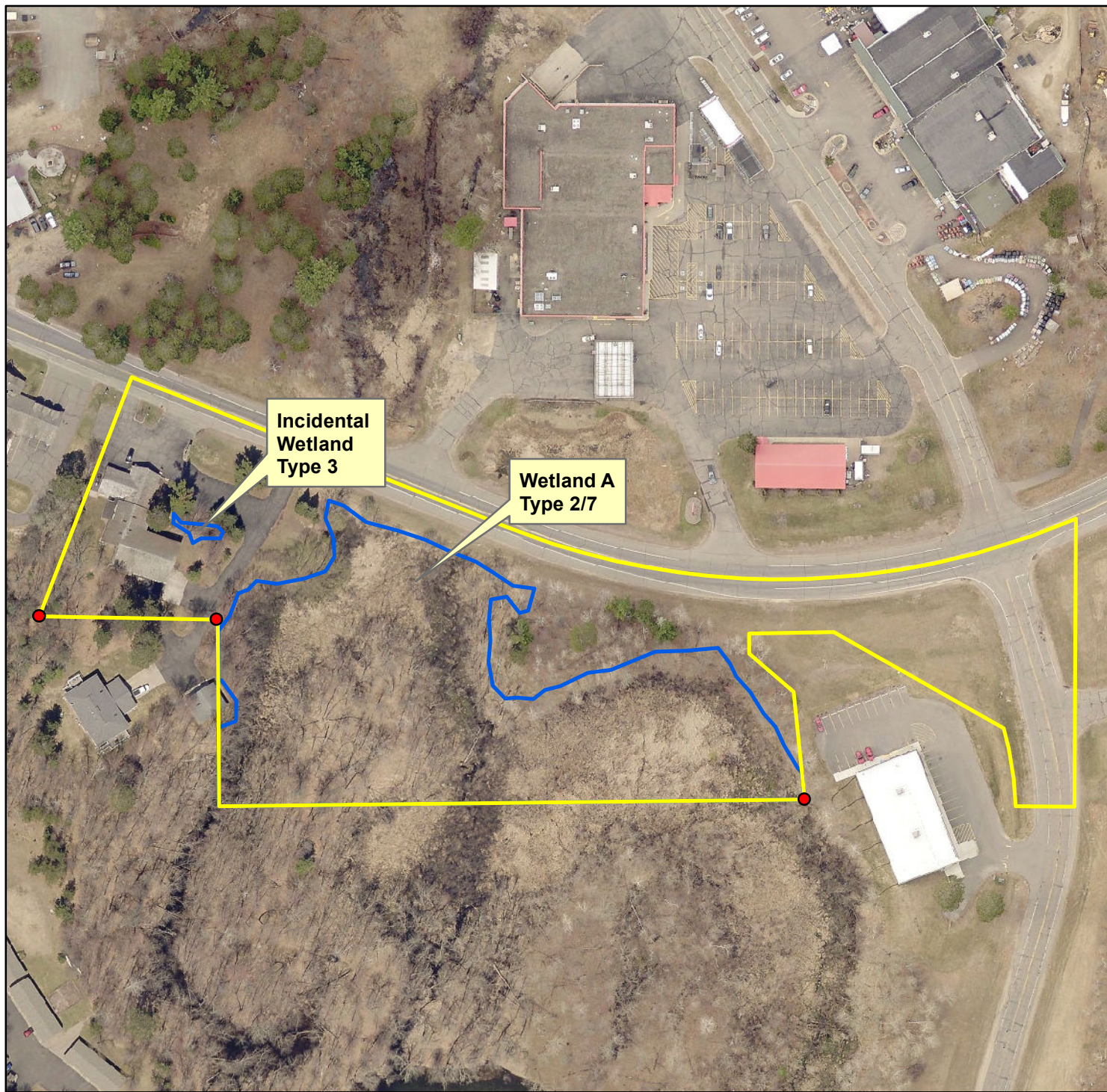
If you have any further questions please let me know.

Thanks

Ben Meister

MNWDCP #1031

# Wetland Location Map PID# 14210755



## Legend

 Boundary PID 14210755

 Wetlands PID 14210755

 FIPS



Ben Meister  
Meister Environmental, LLC  
8718 Center Drive  
Breezy Point MN, 56472  
218-851-5005  
MWPCP#1031

Map is for visual purposes only





## Cheryl

---

**From:** Matt Kallroos <Matt.Kallroos@crowwing.us>  
**Sent:** Thursday, November 9, 2023 11:58 AM  
**To:** Cheryl  
**Subject:** RE: DRT 11.14.2023

Hi Cheryl,

Please find the Crow Wing County Highway Departments comments below:

Crosslake Trio LLC: - The Crow Wing County Highway comments include concern over overflow parking and ensuring parking is adequate. Any on street parking on CSAH 3 may cause traffic and safety issues. The Highway Department will also require consolidation of the 2 western accesses to only 1 access (could increase parking options and reduce conflict points). As of now, no right turn lane will be required as of now, a right turn lane may be part of the future CSAH 3 and 66 project but has yet to be determined. Lastly, the Highway Department would like to know the future plans of the remaining space in the building and if any other businesses are expected to go in there that could generate an increase in traffic.

Clousing: The Highway Department does not support the variance for road right of way setback and no new/additional access on CSAH 3 will be allowed.

I plan to be present for the Crosslake Trio LLC DRT meeting, thanks!

**Matt Kallroos**  
**Transportation Planner**

Office: (218)824-1110  
Direct: (218)822-2694  
[www.crowwing.us](http://www.crowwing.us)

Crow Wing County Highway Department  
16589 County Road 142  
Brainerd, MN 56401

*Conrad Ellestad*



*We value your opinion, please let us know how we are doing by taking our [Customer Service Survey](#).*



**Our Vision:** Being Minnesota's favorite place.  
**Our Mission:** Serve well. Deliver value. Drive results.  
**Our Values:** Be responsible. Treat people right. Build a better future.

This e-mail and any attachment is intended to be read only by the intended recipient. This e-mail may be legally privileged or protected from disclosure by law. If you are not the intended recipient, any dissemination of this e-mail or any attachments is strictly prohibited, and you should refrain from reading this e-mail or examining any attachments. If you received this e-mail in error, please notify the sender immediately and delete this e-mail and any attachments. Thank you.

**From:** Cheryl <cstuckmayer@crosslake.net>  
**Sent:** Wednesday, November 1, 2023 8:33 AM  
**To:** Matt Kallroos <Matt.Kallroos@crowwing.us>  
**Subject:** DRT 11.14.2023

This message was sent from outside your organization. Please proceed with caution.



Conditional/Interim Use Permit Application

Planning and Zoning Department  
37028 County Rd 66, Crosslake, MN 56442

218.692.2689 (Phone) 218.692.2687 (Fax) www.cityofcrosslake.org

Receipt Number: 40886053

Permit Number: 240001C

Property Owner(s): Conrad Ellestad - Crosslake

Mailing Address: 35494 CR 3 Crosslake, MN 56442

Site Address: 35494 CR 3 Crosslake, MN 56442

Phone Number: 612-607-9714 (conrad)

E-Mail Address: conrad@ccm.com

Parcel Number(s): 14210755

Legal Description: part of the SE quarter of the NW quarter

Sec 21 Twp 137 Rge 26 [ ] 27 [X] 28 [ ]

Land Involved: Width: Length: Acres: 6.55

Lake/River Name: N/A

Do you own land adjacent to this parcel(s)? Yes [ ] No [X]

If yes, list Parcel Number(s)

Authorized Agent: Sandra Krienke

Agent Address: 35494 CR 3 Crosslake MN 56442

Agent Phone Number: 763-350-5514

Signature of Property Owner(s)

Date 11/16/27

Signature of Authorized Agent(s)

Date 11/16/23

(Check applicable requests)

**Residential & Related Uses:**

Specify

Shoreland District

Rural Residential District (5 A Min.)

Sensitive Shoreland District

Limited Commercial District

Downtown Commercial District

Waterfront Commercial District

Commercial/Light Industrial District

**Recreational Uses:**

Specify

Shoreland District

Rural Residential District (5 A Min.)

Limited Commercial District

Waterfront Commercial District

Commercial/Light Industrial District

**Civic, Edu & Institutional Uses:**

Specify

Shoreland District

Rural Residential District (5 A Min.)

Limited Commercial District

Waterfront Commercial District

Commercial/Light Industrial District

**Commercial & Industrial Uses:**

Specify SELF pour taproom

Shoreland District

Rural Residential District (5 A Min.)

Sensitive Shoreland District

Limited Commercial District

Downtown Commercial District

Waterfront Commercial District

Commercial/Light Industrial District

- All applications must be accompanied by a site plan
- Fee \$500 for Residential and Commercial Payable to "City of Crosslake"
- No decisions were made on an applicant's request at the DRT meeting. Submittal of an application after DRT does not constitute approval. Approval or denial of applications is determined by the Planning Commission/Board of Adjustment at a public meeting as per Minnesota Statute 462 and the City of Crosslake Land Use Ordinance.

For Office Use:

Application accepted by CS Date 1-8-24 Land Use District LC Lake Class NA

Septic: Compliance city SSTS Design na Installation city

City of Crosslake Planning Commission/Board of Adjustment

Conditional Use Permit Application

Findings of Fact

Supporting/Denying a Conditional Use Permit Request

Findings shall be made in either recommending approval or denial of a Conditional Use Permit application, and should reference Chapter 26, Article 7 of the City of Crosslake Ordinance. The following questions are to be considered, but are not limited to:

- (1) Will the proposed use impact the health, safety, and general welfare of the occupants in the surrounding neighborhood?

YES  NO

Why?

There will be no impact to any one in or around the neighborhood as it relates to this.

- (2) Does the proposed use meet the standards of this Chapter?

YES  NO

Why?

Yes. UpNorth Social is committed to being a part of growing the Crosslake ecosystem + meeting its standards.

- (3) Will the proposed use meet goals and policies adopted within the Crosslake Comprehensive Plan?

YES  NO

Why?

Yes. UpNorth Social will meet the Crosslake Comp. plans + goals as a new business to attract locals + tourists.

- (4) Will the proposed use adversely affect property values and future development of the land in the surrounding neighborhood?

YES  NO

Why?

There will not be an adverse affect on the surrounding neighborhood.

- (5) Will the proposed negatively impact public utility, public services, roads and schools?

YES  NO

Why?

There will be no negative impact to any of these items.

(6) Will the proposed use impact the environment adversely, considering its impact on groundwater, surface water and air quality?

YES  NO

Why?

No impact adversely to the environment.

(7) Are the water supply, public sewer or subsurface sewage treatment system facilities, erosion control and stormwater management provided for pursuant to applicable standards of the Ordinance?

YES  NO

Why?

See attached certificate of survey for these details

City of Crosslake Planning Commission/Board of Adjustment

Conditional Use Permit Application

Findings of Fact

Supporting/Denying a Conditional Use Permit Request

*Findings shall be made in either recommending approval or denial of a Conditional Use Permit application, and should reference Chapter 26, Article 7 of the City of Crosslake Ordinance. The following questions are to be considered, but are not limited to:*

- (1) Will the proposed use impact the health, safety, and general welfare of the occupants in the surrounding neighborhood?

YES  NO

Why?

- (2) Does the proposed use meet the standards of this Chapter?

YES  NO

Why?

- (3) Will the proposed use meet goals and policies adopted within the Crosslake Comprehensive Plan?

YES  NO

Why?

- (4) Will the proposed use adversely affect property values and future development of the land in the surrounding neighborhood?

YES  NO

Why?

- (5) Will the proposed negatively impact public utility, public services, roads and schools?

YES  NO

Why?

(6) Will the proposed use impact the environment adversely, considering its impact on groundwater, surface water and air quality?

YES  NO

Why?

(7) Are the water supply, public sewer or subsurface sewage treatment system facilities, erosion control and stormwater management provided for pursuant to applicable standards of the Ordinance?

YES  NO

Why?