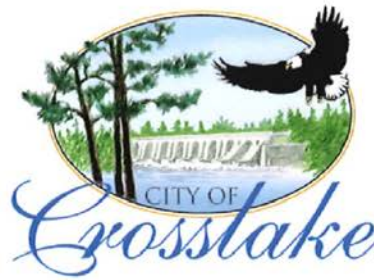


City Hall: 218-692-2688  
Planning & Zoning: 218-692-2689  
Fax: 218-692-2687



13888 Daggett Bay Rd  
Crosslake, Minnesota 56442  
[www.cityofcrosslake.org](http://www.cityofcrosslake.org)

---

## **CITY OF CROSSLAKE**

### **PLANNING COMMISSION/BOARD OF ADJUSTMENT**

December 15, 2023

**9:00 A.M.**

Crosslake City Hall

13888 Daggett Bay Rd, Crosslake MN 56442

(218) 692-2689

### **PUBLIC HEARING NOTICE**

**Applicant:** Greg & Barbara Johnson

**Authorized Agent:** N/A

**Site Location:** 17181 Greer Lake Rd, Crosby, MN 56441 on Greer Lake - RD

**Variance for:**

- Lake setback of 82 feet where 100 feet is required to proposed dwelling
- Lake setback of 77 feet where 100 feet is required to proposed deck

**To construct:**

- 2,507 square foot dwelling with a covered porch
- 331 square foot deck

**After-the-Fact Variance:**

- Road right-of-way setback of 34.4 feet where 35 feet is required to existing garage
- 28.4 x 28.5 existing garage per survey where 28x28 was permitted

**Notification:** Pursuant to Minnesota Statutes Chapter 462, and the City of Crosslake Zoning Ordinance, you are hereby notified of a public hearing before the City of Crosslake Planning Commission/Board of Adjustment. Property owners have been notified according to MN State Statute 462 & published in the local newspaper. Please share this notice with any of your neighbors who may not have been notified by mail.

**Information:** Copies of the application and all maps, diagrams or documents are available at Crosslake City Hall or by contacting the Crosslake Planning & Zoning staff at 218-692-2689. Please submit your comments in writing including your name and mailing address to Crosslake City Hall or ([crosslakepz@crosslake.net](mailto:crosslakepz@crosslake.net)).



## STAFF REPORT

Property Owner/Applicant: Greg & Barbara Johnson

Parcel Number(s): 14360511

Application Submitted: November 16, 2023

Action Deadline: January 14, 2024

City 60 Day Extension Letter sent / Deadline: NA / NA

Applicant Extension Received / Request: NA / NA

City Council Date: NA

**Authorized Agent:** N/A

**Variance for:**

- Lake setback of 82 feet where 100 feet is required to proposed dwelling
- Lake setback of 77 feet where 100 feet is required to proposed deck

**To construct:**

- 2,507 square foot dwelling with a covered porch
- 331 square foot deck

**After-the-Fact Variance for:**

- Road right-of-way setback of 34.4 feet where 35 feet is required to existing garage
- 28.4 x 28.5 existing garage per survey where 28x28 was permitted

**Current Zoning:** Shoreland District

**Existing Impervious Coverage:**

5.3%

**Proposed Impervious Coverage:**

19.1%

- A stormwater management plan was submitted with the variance application
- Septic design was submitted with the variance application

**Parcel History:**

- Greer Lake Homesites established in 1988
- 10' x 6' Replace and addition/patio to deck
- September 2002- 28' x 28' Garage
- December 2017 – Dirt moving in SIZ1

**Agencies Notified and Responses Received:**

**County Highway Dept:** N/A

**DNR:** No comment received before packet cutoff date

**City Engineer:** N/A

**Lake Association:** No comment received before packet cutoff date

**Crosslake Public Works:** No comment received before packet cutoff date

**Crosslake Park, Recreation & Library: N/A**

**Concerned Parties: No comment received before packet cutoff date**

**POSSIBLE MOTION:**

To approve/table/deny the variance to allow:

- Lake setback of 82 feet where 100 feet is required to proposed dwelling
- Lake setback of 77 feet where 100 feet is required to proposed deck

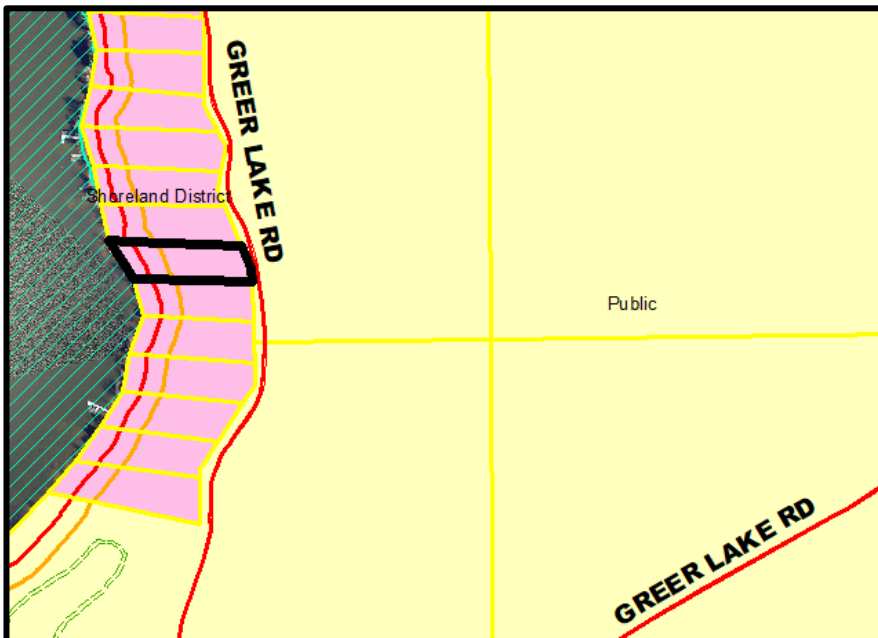
To construct:

- 2,507 square foot dwelling with a covered porch
- 331 square foot deck

To approve/table/deny the After-the-Fact Variance for:

- Road right-of-way setback of 34.4 feet where 35 feet is required to existing garage
- 28.4 x 28.5 existing garage per survey where 28x28 was permitted

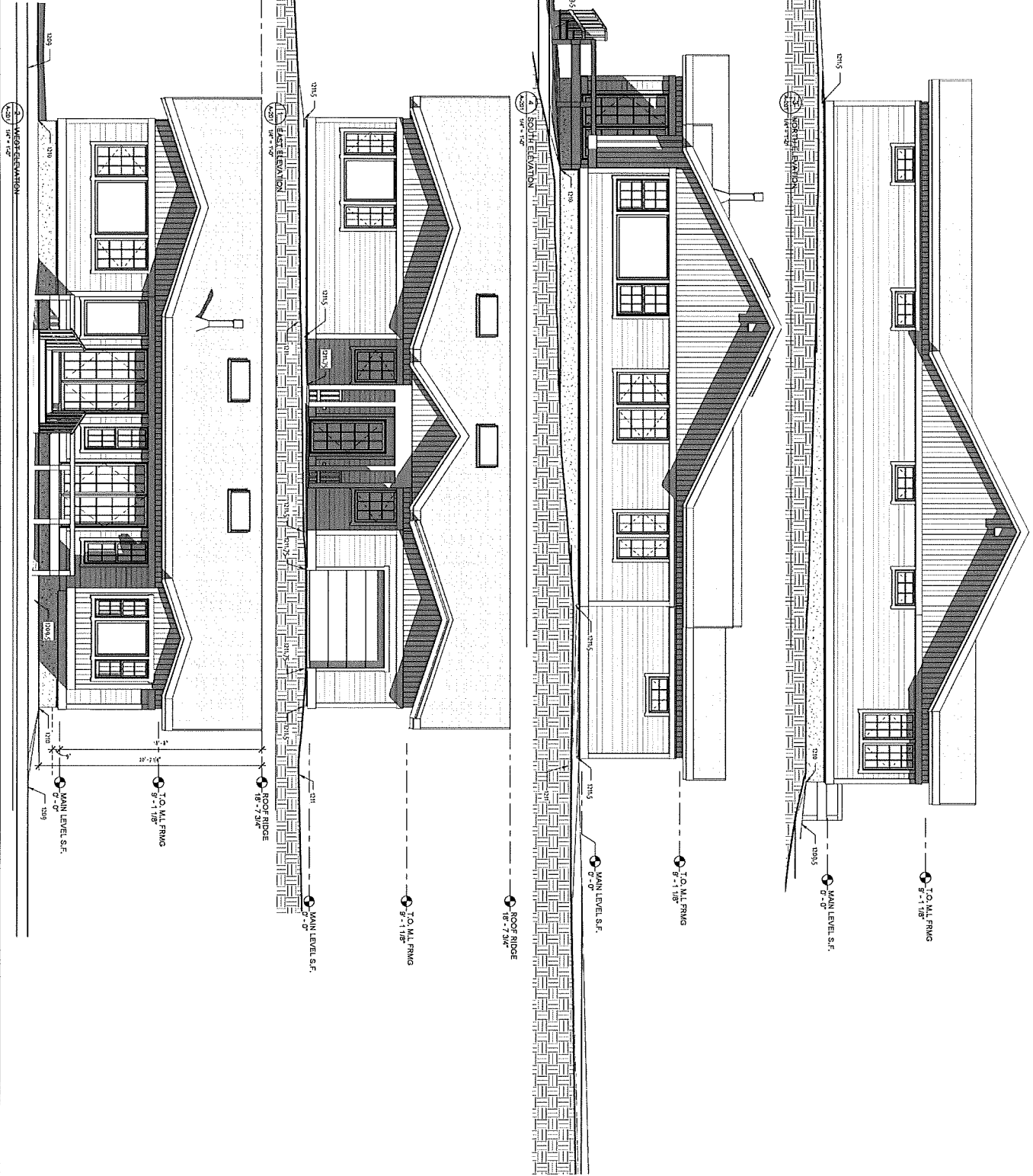
As shown on the certificate of survey dated 11-16-2023











**A-201**

**NOT FOR CONSTRUCTION**

WE HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 11-10-2023  
 LICENSE NUMBER: 22207

**LOON**  
**Architects**

3008 15th Ave S Minneapolis MN 55407 612-827-6988 [www.LoonArchitects.com](http://www.LoonArchitects.com)

**FOR REVIEW ONLY - NOT FOR CONSTRUCTION**

**PROJECT**  
 Greg and Barb Johnson  
 NEW RESIDENCE  
 17181 GREER LAKE RD  
 CROSBY, MN 56441

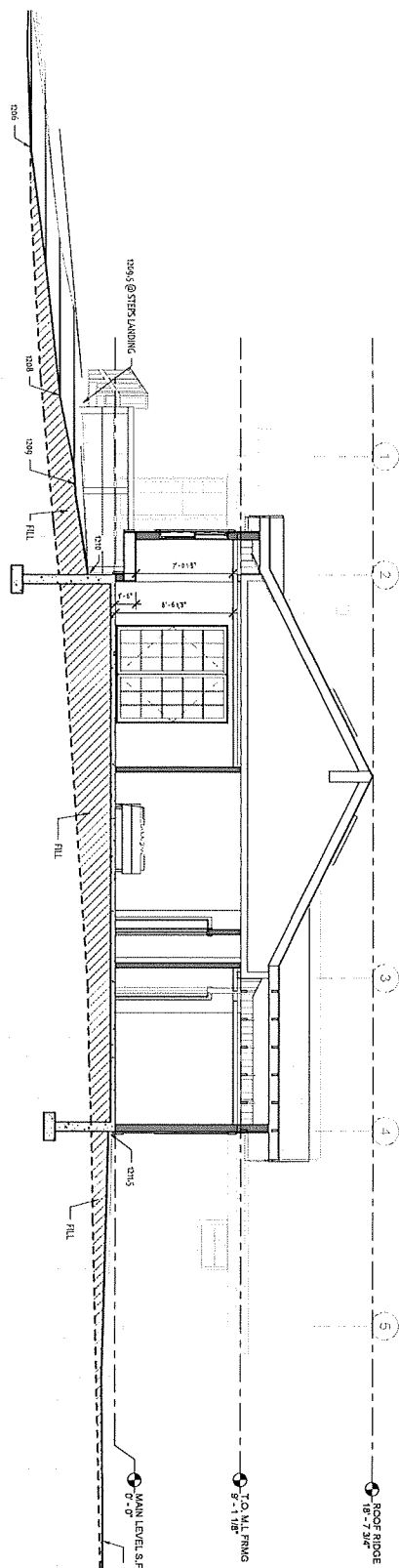
These documents were prepared by the Architect and are not to be used for any other project. The Architect shall retain all copyright, statutory and other reserved rights, including the right to use the name of the Architect in any documents except by mutual agreement in writing.

**Date**  
 11-10-2023

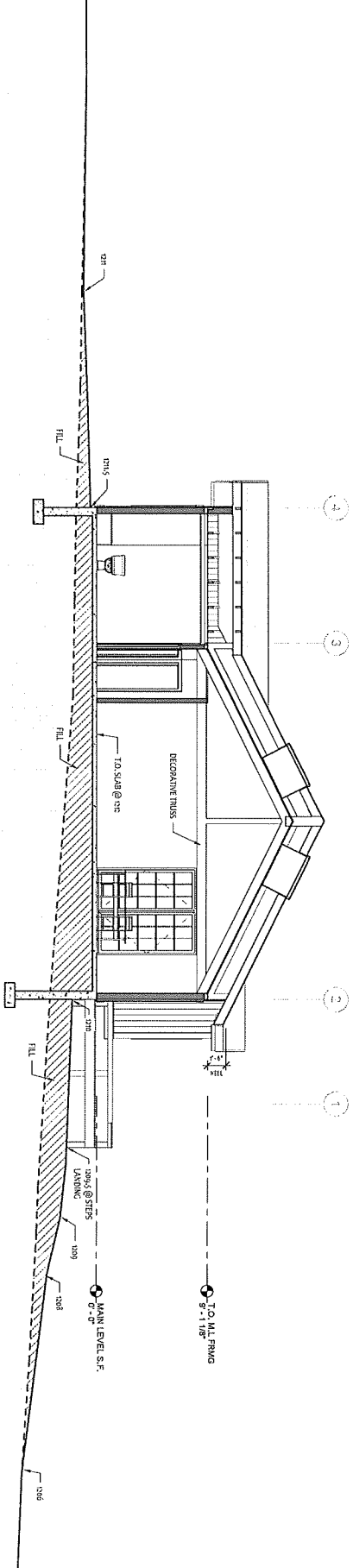
**VARIANCE SET**



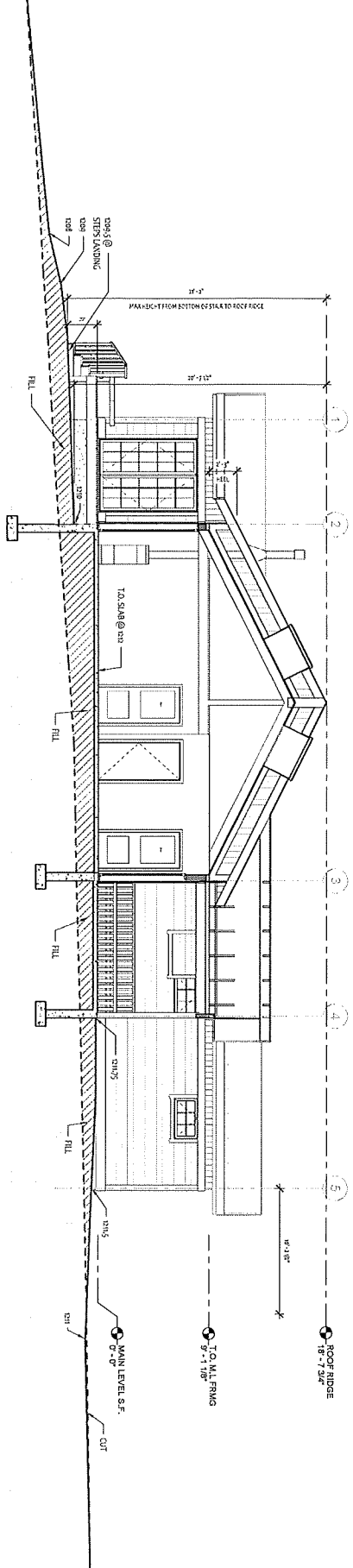
SECTION @ SUN ROOM, BEDROOM & OFFICE



SECTION @ DINING, KITCHEN



SECTION @ ENTRY, FAMILY ROOM



A-301

WE HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 11-10-2023  
 LICENSE NUMBER: 2307

**LOON**  
 Architects

3508 15th Ave S Minneapolis MN 55407 612-427-4928 s@loonarchitects.com

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**PROJECT**  
 Greg and Barb Johnson  
 NEW RESIDENCE  
 17181 GREER LAKE RD  
 CROSBY, MN 56441

These documents were prepared by the Architect and are the property of the Architect. No part of these documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect's liability is limited to the scope of the Architect's agreement with the client. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Architect is not responsible for any errors or omissions in these documents, and the client is responsible for verifying the accuracy of the information provided.

**Date**  
 11-10-2023

**VARIANCE SET**



## Crow Wing County Pressure Bed/Trench with Pump Design

Property Owner: Greg & Barbara Johnson Date: 10/04/2023

Mailing Address: 2101 Jackson Circle

City: Marine on St. Croix State: MN Zip: 55047

Home Phone Number: \_\_\_\_\_ Cell: 651-398-6045

Site Address: 17181 & 17193 Greer Lake Road

City: Crosby State: MN Zip: 56441

Driving directions if no address issued: \_\_\_\_\_

Legal Description: Lots 6 & 7 Block 1 Greer Lake Homesites

Sec: 36 Twp: 137 Range: 27 Twp Name: Crosslake

Parcel Number: 14360511 & 14360512

Lake/ River: Greer Lake Lake/River Classification: RD

### Flow Data

Number of Bedrooms: 3

Dwelling Classification: 1

System Type: 1

GPD: 450

Estimated Flow in Gallons per Day (GPD)			
Bedrooms	Class I	Class II	Class III
2	300	225	180
3	450	300	218
4	600	375	256
5	750	450	294
6	900	525	332
7	1050	600	370
8	1200	675	408

### Wells

Deep Well: Existing Deep

Shallow Well: Select One

Wells to be sealed (if applicable)? \_\_\_\_\_

### Setbacks

Tank(s) to: Well 50'

Drainfield to: Well 150'

Sewer Line to well: 50'

House 75'

House 50'

Air Test: No

Property Line 50'

Property Line 50'

**Additional System Notes and Information:** to change septic tank to meet size requirements

for 3 bedrooms to existing 1 bedroom cabin and replace cabin at 17181 with new 2 bedroom

cabin. 10 x 50 pressure bed in compliance and meets size requirements for 3 bedrooms

Designer Name: LouAnn Maschler

License Number: 2264

Address: 16333 County Road 142

City: Brainerd

State: Mn

Zip: 56401

Home Phone Number: \_\_\_\_\_

Cell: 218-839-3042

E-Mail Address: lomaschler@gmail.com

Designer Signature: LouAnn Maschler

Date: 10/04/2023



# Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 14360511 & 14360512 Property Owner: Greg & Barbara Johnson Date: 10/04/2023

Designer's Initials: \_\_\_\_\_

## Tank Sizing

- A. Septic Tank Capacity: 1500 Gallons  
 Tank Type: 2 Compartments  Filter: No   
 Garbage Disposal/Basement Lift Station: Select One
- B. Pump Tank Capacity: 500 Gallons (7080.2100)  
 a. Alarm Type: Electric

Septic Tank Capacity		
Bedrooms	Minimum	GD/BL
3 or less	1,000	1,500
4 or 5	1,500	2,250
6 or 7	2,000	3,000

## Soils

- C. Depth to Restricting Layer:      ft.  
 D. Native SSF:      SSF Value  
 (Perc. Rate [Optional]      MPI)

Absorption Width Ratio Table		
Texture	SSF	AWR
Sand	0.83	1.00
Fine Sand	1.67	2.00
Sandy Loam	1.27	1.52
Loam	1.67	2.00
Silt Loam	2.00	2.40
Clay Loam	2.20	2.67

**\*\*Enter GPD next to the type of system\*\***

## Rock Trenches

- E. 6 in. Trench Depth      GPD × D = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds<sup>3</sup>  
 F. 12 in. Trench Depth      GPD × D × .8 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds<sup>3</sup>  
 G. 18 in. Trench Depth      GPD × D × .66 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds<sup>3</sup>  
 H. 24 in. Trench Depth      GPD × D × .6 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds<sup>3</sup>  
 I. Divide (E-H) by Trench Width for lineal feet: 0.0 ÷ 3 = 0.0

## Chamber Trenches

- J. Brand: \_\_\_\_\_ Dimensions of one chamber (L x W): 1.0 ft. × 3.0 ft.  
 K. 6-11 in. Chamber Depth      GPD × D = 0.0 sq. ft.  
 L. 12 in. Chamber Depth      GPD × D × .8 = 0.0 sq. ft.  
 M. Select from (K-L) if installing Chamber Trenches: 0.0  
 N. Divide (M) by Trench Width for lineal feet: 0.0 ÷ 1 = 0.0 Lineal Feet  
 O. Total Chambers Needed (Round Up): 0.0 Chambers

## Pressure Beds

- P. Pressure Bed      GPD × D = 0.0 sq. ft.  
 a. Bed Dimensions 1.0 ft. × 0.0 ft.  
 b. Cubic Yards of Rock Bed Length × Bed Width × Rock Depth 1 ft. ÷ 27 = 0.0 yds<sup>3</sup>



## Additional System Notes and Information:

to change septic tank to meet size requirements  
for 3 bedrooms to existing 1 bedroom cabin and replace cabin at 17181 with new 2 bedroom  
cabin. 10 x 50 pressure bed in compliance and meets size requirements for 3 bedrooms

# Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 14360511 & 14360512 Property Owner: Greg & Barbara Johnson

Date: 10/04/2023

Designer's Initials: \_\_\_\_\_

## Determine Pump Capacity

1) Gravity Distribution Pump Capacity Range: 10 - 45 GPM

\*Skip to Pump Head Requirements if pumping to gravity

2) Pressure Distribution:

a) Number of laterals: \_\_\_\_\_

Page 1 of 2

b) Lateral Size: \_\_\_\_\_ in.

c) Perforation spacing: 1.0 ft.

d) Check Table 4 to see the maximum number of perforations per lateral.

3) Lateral Length (choose):

a) End manifold: rock bed length: 0.0 - 2 ft. = -2.0 ft.

b) Center manifold: rock bed length / 2: 0.0 - 1 ft. = -1.0 ft.

c) Choose 3a or 3b: \_\_\_\_\_ ft.

4) Total Perforation Determination:

a) Length (3c) ÷ Spacing (2c):  $\frac{1.0}{1} = 1.0$  Perforations / Lateral

b) (4a):  $1.0 \times (2a)$ : \_\_\_\_\_ = 0.0 Total Number of Perforations

c) Select perforation discharge from Table 1 = 0.00 GPM/Perf.

d) (4b):  $0.0 \times (4c)$ : 0.00 GPM/Perf. = 0.0 GPM

## PUMP HEAD REQUIREMENTS

5) Elevation difference:

a) Elevation difference between pump and point of discharge \_\_\_\_\_ ft.

b) If pumping to a pressure distribution system, (5a) \_\_\_\_\_ + 5 = 5.0 ft.

c) Choose 5a if pumping to gravity or 5b for pressure: \_\_\_\_\_ ft.

6) Friction loss:

a) Select a value from Table 2: \_\_\_\_\_ ft. / 100 ft. of pipe

b) Pipe length to drainfield: \_\_\_\_\_ ft.  $\times 1.25$  = 0.0 ft.

c) (6a): \_\_\_\_\_  $\times$  (6b):  $\frac{0.0}{100} = 0.0$  Total Friction Loss

7) Drainback:

a) Actual Pipe length \_\_\_\_\_ ft.  $\times 0.00$  gal/ft. (Table 3) = 0.0 gal

8) (5c): \_\_\_\_\_ ft. + (6c): 0.0 ft. = 0.0 Total Head Required

9) Minimum Pump Size 0.0 GPM (4d) & 0.0 ft. of dynamic head (8)

Ft. of Head	7/32 Perf Diameter	1/4 Perf Diameter
1.0	0.56 in.	0.74 in.
2.0	0.80 in.	1.04 in.

Flow (GPM)	1.5"	2"	3"
20	2.47	0.73	0.11
25	3.73	1.11	0.16
30	5.23	1.55	0.23
35	6.96	2.06	0.30
40	8.91	2.64	0.39
45	11.07	3.28	0.48
50	13.46	3.99	0.58
55		4.76	0.70
60		5.60	0.82
65		6.48	0.95
70		7.44	1.09

Use 1.0 for single homes, 2.0 for everything else

Pipe Diameter	Gal/Ft.
1.25 in.	0.078
1.5 in.	0.11
2.0 in.	0.17

Perf. Spacing	1.25" Pipe	1.5" Pipe	2" Pipe
2.5 ft.	14	18	28
3 ft.	13	17	26
3.3 ft.	12	16	25
4 ft.	11	15	23
5 ft.	10	14	22

# Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 14360511 & 14360512 Property Owner: Greg & Barbara Johnson Date: 10/04/2023

Designer's Initials: \_\_\_\_\_

**Proposed Site Boring #1**

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

**Proposed Site Boring #2**

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

**Alternate Site Boring #1**

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

**Alternate Site Boring #2**

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

**Soil Sizing Factors/Hydraulic Loading Rates**

Perc. Rate	Texture	SSF	HLR	Perc. Rate	Texture	SSF	HLR
<0.1	Coarse Sand			16 to 30	Loam	1.67	0.60
0.1 to 5	Sand	0.83	1.20	31 to 45	Silt Loam	2.00	0.50
0.1 to 5	Fine Sand	1.67	0.60	46 to 60	Clay Loam	2.20	0.45
6 to 15	Sandy Loam	1.27	0.78	> 60	Clay Loam	****	0.24

**Description of Soil Treatment Areas**

	Proposed Site		Alternate Site	
	Proposed #1:	Proposed #2:	Alternate #1:	Alternate #2:
Disturbed Areas?				
Compacted Areas?				
Flooding Potential?				
Run-on Potential?				
Limiting Layer Depth				
Slope % and Direction				
Landscape Position				
Vegetation Types				
Soil Texture				
Soil Sizing Factor				

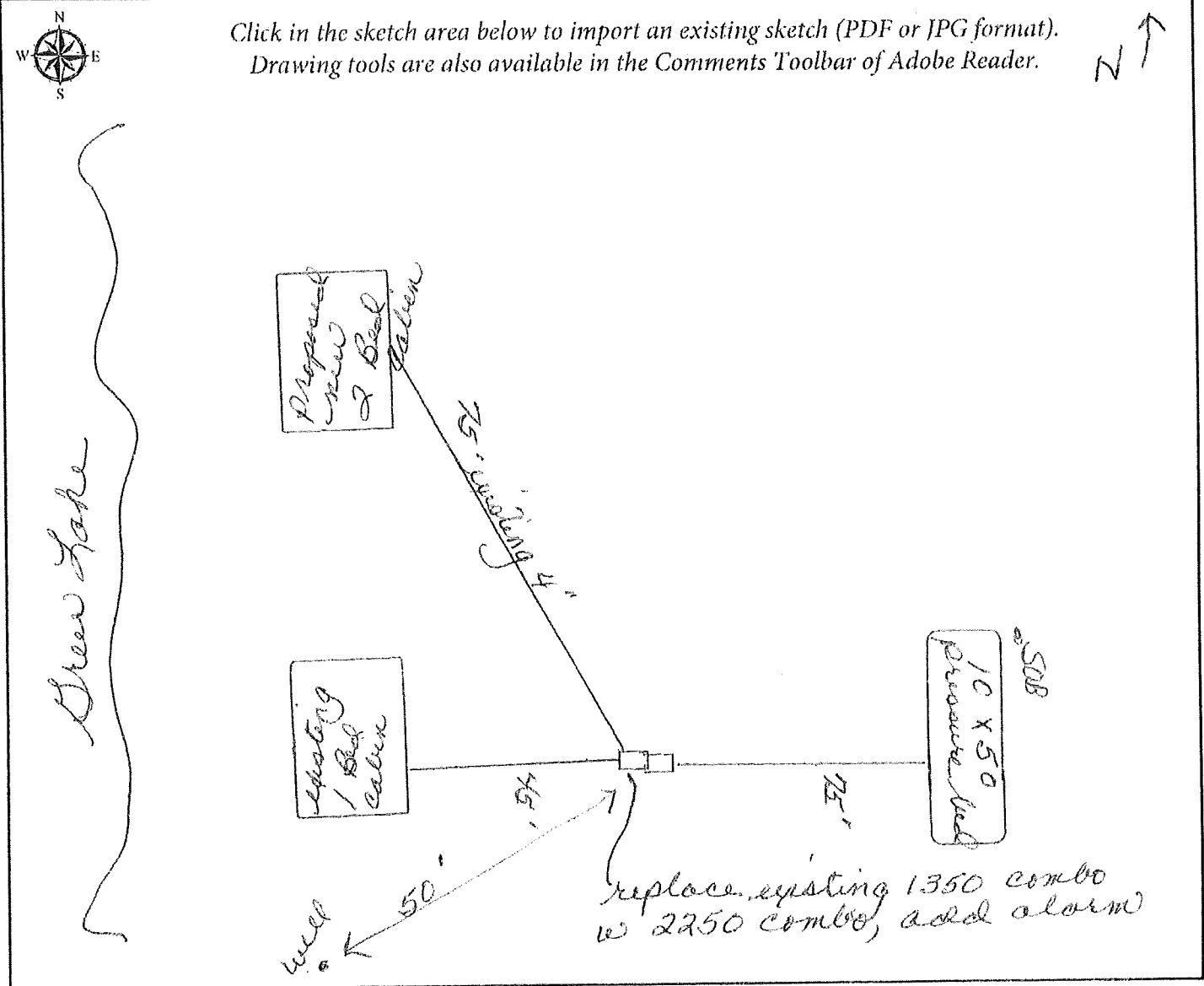
# Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 14360511 & 14360512

Property Owner: Greg & Barbara Johnson

Date: 10/04/2023

Please Draw to Scale with North Arrow to top or Left Side of Page



**Please show all that apply (Existing or Proposed):**

- Wells within 100 ft. of a Drainfield
- Water lines within 10 ft. of a Drainfield
- Drainfield Areas
- Boring Locations

- Disturbed/Compacted Areas
- Component Location
- OHW
- Lot Easements

- Access Route for Tank Maintenance
- Property Lines
- Structures
- Setbacks

**Elevations:**

Benchmark Elevation: \_\_\_\_\_  
 Elevation of Sewer Line at House: \_\_\_\_\_  
 Tank Inlet Elevation: \_\_\_\_\_  
 Drainfield Elevation: \_\_\_\_\_

Pump Elevation: \_\_\_\_\_  
 Pump Discharge Elevation: \_\_\_\_\_  
 Restricting Layer Elevation: \_\_\_\_\_

Designer Signature: *Paul Ann Mascher* Date: 10/04/2023 License Number: 2264

**SUBMIT COMPLETED FORM**

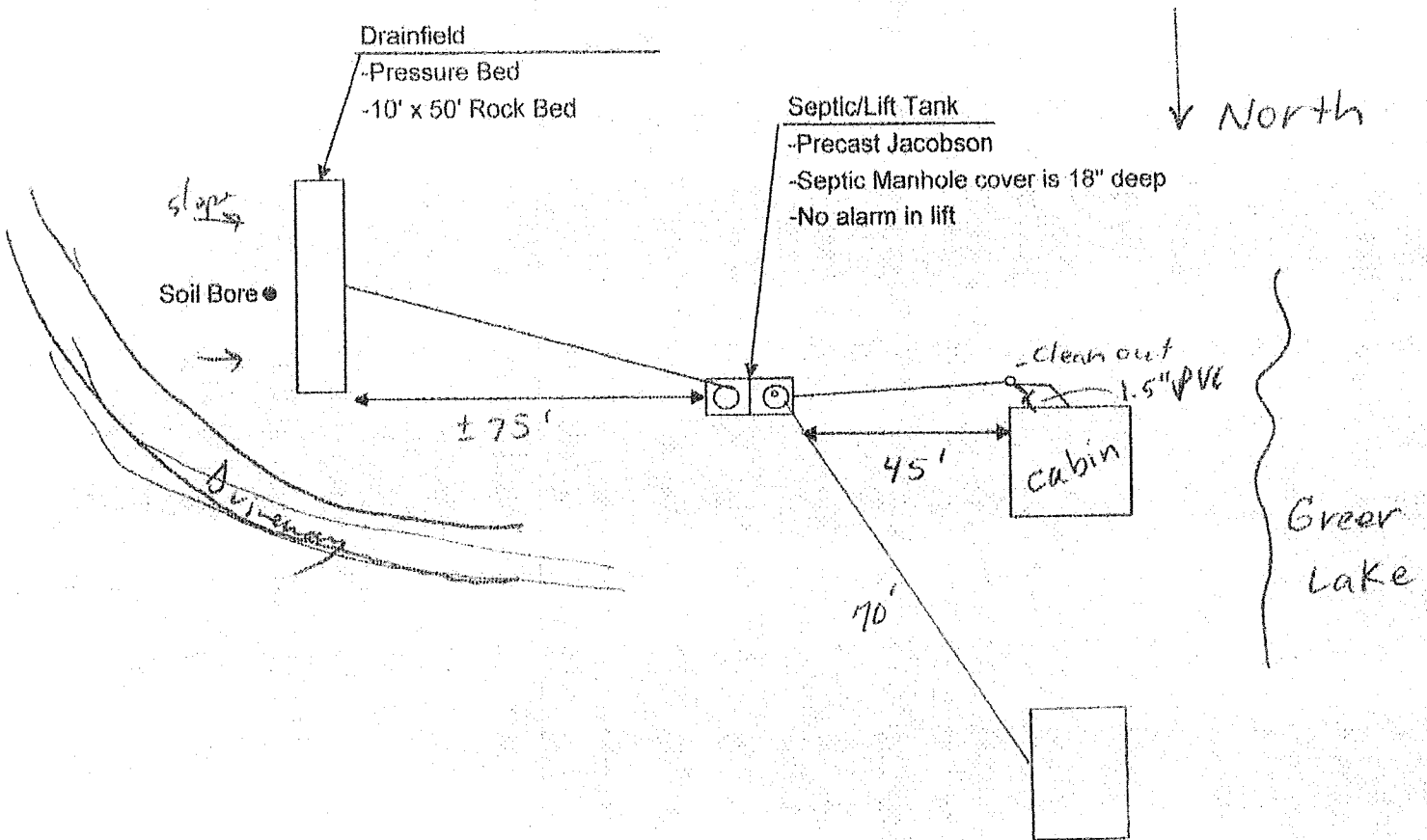
**SSTS Management Plan required to be submitted with this design**

Minnesota Pollution Control Agency Rules Sections 7082.0600 Subp. 1. A and B, and Section 7082.0100 Subpart 3. J

Site Sketch:

Name: Greg & Barbara Johnson  
 Site Address: 17193 Greer Lake Rd, Crosby, MN 56441

Re Code: 142-160-010-060-009



Soil Borings (BR #): Locate each boring on the map above, indicate on the right of the column the soil texture structure, color, depth of each different soil type, evidence of mottling, bedrock and standing water. Also, indicate if the material is fill.

SB #1	SB #2
0" - 6" Sandy Loam	10YR 2/2
6" - 16" Loamy Sand	10YR 3/3
16" - 60" Sand to Loamy Sand	10YR 4/4-5/4

60" Bottom of Soil Boring  
 24" Bottom of Drainfield

*Mark Jensen*

10/23/2017

36" of Separation  
 RECORD DEPTH OF MOTTLING, SEASONAL, SEASONAL HIGH WATER (AS INDICATED USING THE MUNSELL COLOR BOOK) OR BEDROCK ON ABOVE LINES

Comments:

What needs to be completed to bring the above system into compliance if found not in compliance?  
 Nothing



## Map Unit Description (MN)

Crow Wing County, Minnesota

[Data apply to the entire extent of the map unit within the survey area. Map unit and soil properties for a specific parcel of land may vary somewhat and should be determined by onsite investigation]

### 6-5D--Gerrish-Hapludalfs-Hegberg-Eutrudepts complex, pitted, 10 to 20 percent slopes

#### Gerrish

*Extent:* 15 to 45 percent of the unit  
*Landform(s):* moraines on till plains  
*Slope gradient:* 10 to 20 percent  
*Parent material:* sandy and gravelly outwash  
*Restrictive feature(s):* greater than 60 inches  
*Flooding:* none  
*Ponding:* none  
*Drainage class:* somewhat excessively drained

*Soil loss tolerance (T factor):* 5  
*Wind erodibility group (WEG):* 2  
*Wind erodibility index (WEI):* 134  
*Kw factor (surface layer):* .20  
*Land capability, nonirrigated:* 7s  
*Hydric soil:* no  
*Hydrologic group:* A  
*Potential for frost action:* low

Representative soil profile:	Texture	Permeability	Available water capacity	pH
A -- 0 to 4 in	Loamy sand	rapid	0.35 to 0.43 in	4.5 to 6.5
Bw1 -- 4 to 14 in	Loamy sand	rapid	0.72 to 0.92 in	5.1 to 6.5
Bw2 -- 14 to 25 in	Sand	rapid	0.43 to 0.64 in	5.1 to 6.5
E and Bt -- 25 to 50 in	Sand	rapid	1.26 to 2.02 in	5.1 to 6.5
C -- 50 to 79 in	Gravelly coarse sand	very rapid	0.29 to 0.86 in	5.6 to 7.3

#### Hapludalfs

*Extent:* 15 to 45 percent of the unit  
*Landform(s):* moraines on till plains  
*Slope gradient:* 10 to 20 percent  
*Parent material:* sandy outwash over coarse-loamy ablation till  
*Restrictive feature(s):* greater than 60 inches  
*Flooding:* none  
*Ponding:* none  
*Drainage class:* moderately well drained

*Soil loss tolerance (T factor):* 4  
*Wind erodibility group (WEG):* 5  
*Wind erodibility index (WEI):* 56  
*Kw factor (surface layer):* .24  
*Land capability, nonirrigated:* 3s  
*Hydric soil:* no  
*Hydrologic group:* B  
*Potential for frost action:* moderate

Representative soil profile:	Texture	Permeability	Available water capacity	pH
A -- 0 to 5 in	Loam	moderate	0.66 to 1.13 in	4.5 to 6.0
E1 -- 5 to 10 in	Sandy loam	moderate	0.72 to 1.13 in	4.5 to 6.0
E2 -- 10 to 31 in	Cobbly loamy sand	rapid	1.88 to 2.30 in	2.1 to 6.0
2Bt -- 31 to 70 in	Very cobbly coarse sandy loam	moderately rapid	5.17 to 8.75 in	5.6 to 6.5
2C -- 70 to 79 in	Loam	moderate	0.33 to 0.74 in	5.6 to 7.3

## Map Unit Description (MN)

Crow Wing County, Minnesota

### 6-5D--Gerrish-Hapludalfs-Hegberg-Eutrudepts complex, pitted, 10 to 20 percent slopes

#### Eutrudepts, coarse-loamy

*Extent:* 15 to 35 percent of the unit

*Landform(s):* moraines on till plains

*Slope gradient:* 10 to 20 percent

*Parent material:* coarse-loamy glaciofluvial deposits over sandy and gravelly outwash

*Restrictive feature(s):* greater than 60 inches

*Flooding:* none

*Ponding:* none

*Drainage class:* well drained

*Soil loss tolerance (T factor):* 3

*Wind erodibility group (WEG):* 5

*Wind erodibility index (WEI):* 56

*Kw factor (surface layer)* .32

*Land capability, nonirrigated* 3s

*Hydric soil:* no

*Hydrologic group:* B

*Potential for frost action:* moderate

<i>Representative soil profile:</i>	<i>Texture</i>	<i>Permeability</i>	<i>Available water capacity</i>	<i>pH</i>
A -- 0 to 6 in	Loam	moderate	0.61 to 0.88 in	4.5 to 6.0
Bw -- 6 to 25 in	Sandy loam	moderate	2.12 to 3.09 in	5.1 to 6.0
2E and Bt -- 25 to 50 in	Loamy fine sand	rapid	1.28 to 2.05 in	5.1 to 6.5
2BC -- 50 to 79 in	Very gravelly sand	very rapid	0.57 to 1.70 in	5.6 to 7.3

This report provides a semitabular listing of some soil and site properties and interpretations that are valuable in communicating the concept of a map unit. The report also provides easy access to the commonly used conservation planning information in one place. The major soil components in each map unit are displayed. Minor components may be displayed if they are included in the database and are selected at the time the report is generated.

# Subsurface Sewage Treatment System Management Plan

Property Owner: Greg & Barbara Johnson

Phone: 651-398-6045

Date: 10/04/2023

Mailing Address: 2101 Jackson Circle

City: Marine on St Croix

Zip: 55047

Site Address: 17193 Greer Lake Road

City: Crosslake

Zip: 56442

This management plan will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic service provider.

System Designer: check every \_\_\_\_\_ months.

Local Government: check every \_\_\_\_\_ months.

State Requirement: check every 36 months.

**My System needs to be checked  
every 36 months.**

## Homeowner Management Tasks

*Leaks* - Check (look, listen) for leaks in toilets and dripping faucets. Repair leaks promptly.

*Surfacing sewage* - Regularly check for wet or spongy soil around your soil treatment area.

*Effluent filter* - *Inspect and clean twice a year or more.*

*Alarms* - Alarm signals when there is a problem. Contact a service provider any time an alarm signals.

*Event counter or water meter* - Record your water use.

-recommend meter readings be conducted (choose one: Daily  Monthly  Yearly

## Professional Management Tasks

- € Check to make sure tank is not leaking
- € Check and clean the in-tank effluent filter
- € Check the sludge/scum layer levels in all septic tanks
- € Recommend if tank should be pumped
- € Check inlet and outlet baffles
- € Check the drainfield effluent levels in the rock layer
- € Check the pump and alarm system functions
- € Check wiring for corrosion and function
- € Check dissolved oxygen and effluent temperature in tank
- € Provide homeowner with list of results and any action to be taken
- € Flush and clean laterals if cleanouts exist

"I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in the Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."

Property Owner Name: Greg & Barbara Johnson

10/04/2023

Designer Signature: *Lawrence Mascher*

10/04/2023

See Reverse Side for Home Owner Management Log

## Home Owner Maintenance Log

Activity	Date Accomplished
<i>Check frequently:</i>	
Leaks: check for plumbing leaks	
Soil treatment area check for surfacing	
Lint filter: check, clean if needed	
Effluent screen: if owner-maintained	
Water usage rate (monitor frequency )	
<i>Check annually:</i>	
Caps: inspect, replace if needed	
Sludge & Scum/Pump	
Inlet & Outlet baffles	
Drainfield effluent leaks	
Pump, alarm, wiring	
Flush & clean laterals if cleanouts exists	
Other:	
Other:	

**Notes:** \_\_\_\_\_

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**Mitigation/corrective action plan:** \_\_\_\_\_

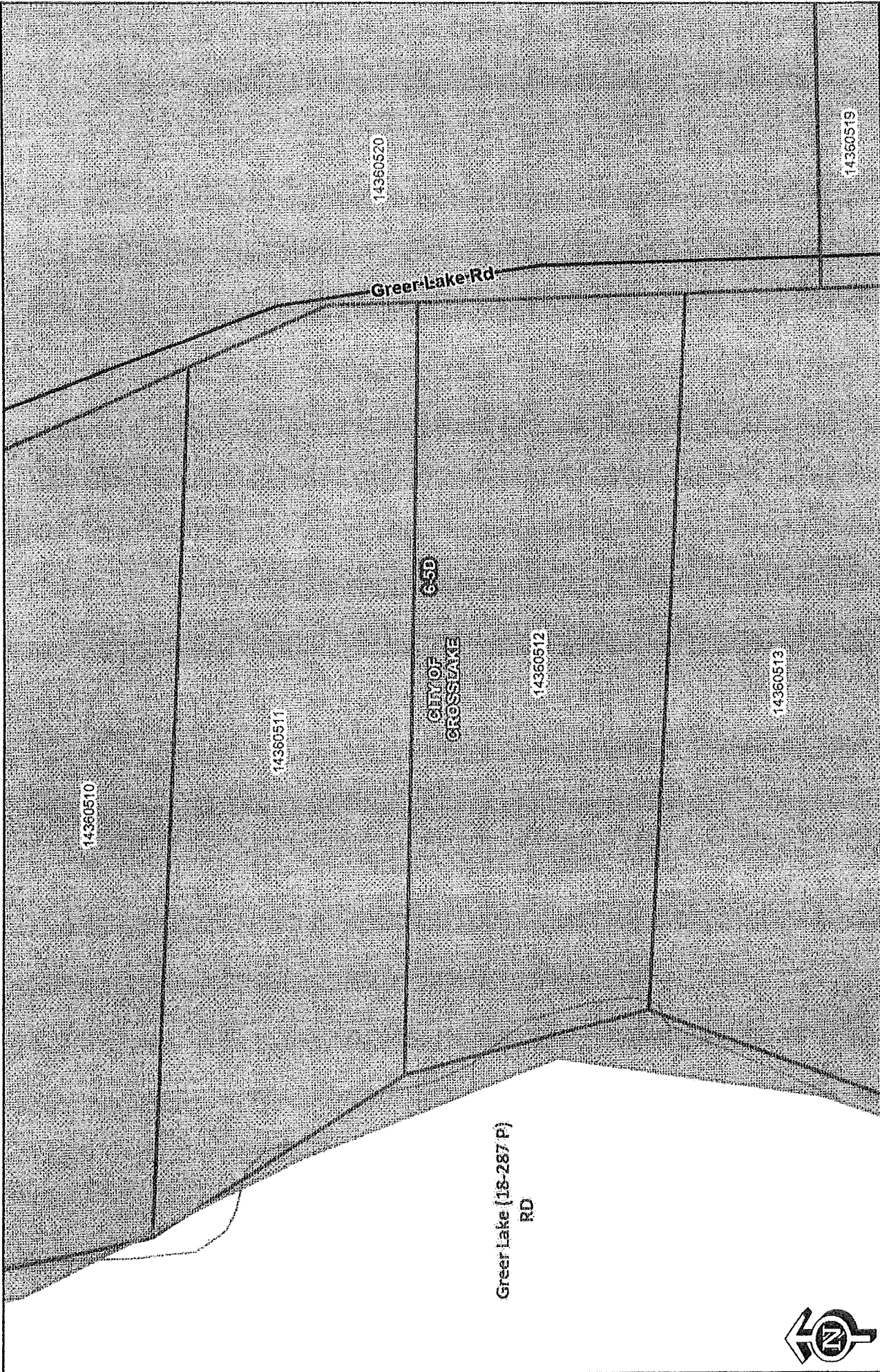
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These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Johnson

Date: 10/5/2023 Time: 11:28 AM



**From:** [Pete Gansen](mailto:Pete.Gansen)  
**To:** "Cheryl"  
**Cc:** [grjmn51@gmail.com](mailto:grjmn51@gmail.com)  
**Subject:** FW: encroachment  
**Date:** Friday, December 1, 2023 11:25:33 AM

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Hello Cheryl, can you please make the administrative amendment to variance request 230285V per the following.

**Add to packet:**

- ATF findings
- put on application
- put on agenda
- put on request

Thank you!  
Peter

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**From:** [grjmn51@gmail.com](mailto:grjmn51@gmail.com) [mailto:[grjmn51@gmail.com](mailto:grjmn51@gmail.com)]  
**Sent:** Friday, December 1, 2023 9:45 AM  
**To:** Peter Gansen <[pgansen@crosslake.net](mailto:pgansen@crosslake.net)>  
**Subject:** encroachment

Please amend my variance request 230285V to include an after-the-fact request for 28' x 28' garage 34.4' from road right of way where 35' is required.

[Greg Johnson](#)  
2101 Jackson Cir  
Marine on St Croix, MN 55047  
651-398-6045



**Variance Application**  
 Planning and Zoning Department  
 37028 County Rd 66, Crosslake, MN 56442  
 218.692.2689 (Phone) 218.692.2687 (Fax) [www.cityofcrosslake.org](http://www.cityofcrosslake.org)

Receipt Number: 244056 Permit Number: 230285 ✓

Property Owner(s): Greg and Barbara Johnson

Mailing Address: 2101 Jackson Cir, Marine on St Croix, MN 55047

Site Address: 17181 Greer Lake Rd, Crosby, MN 56441

Phone Number: 651-398-6045

E-Mail Address: grjmn51@gmail.com

Parcel Number(s): 14360511

Legal Description: Greer Lake Homesites Lot 7 Block 1

Sec 36 Twp 137 Rge 26  27  28

Lake/River Name: Greer Lake (RD) 1208.62 RFE

Do you own land adjacent to this parcel(s)? X Yes      No

If yes list Parcel Number(s) 14360512

Authorized Agent: \_\_\_\_\_

Agent Address: \_\_\_\_\_

Agent Phone Number: \_\_\_\_\_

Add an administrative **after the fact variance** ROW setback for existing garage per email dated 12-1-2023

<u>Variations</u>	
(Check applicable requests)	
<input checked="" type="checkbox"/>	Lake/River Setback
82'	Lake need 100' Structure
77'	Lake need 100' Deck
<input type="checkbox"/>	Road Right-of-Way Setback
<input type="checkbox"/>	Bluff Setback
<input type="checkbox"/>	Side Yard Setback
<input type="checkbox"/>	Wetland Setback
<input type="checkbox"/>	Septic Tank Setback
<input type="checkbox"/>	Septic Drainfield Setback
<input type="checkbox"/>	Impervious Coverage
<input type="checkbox"/>	Accessory Structure
<input type="checkbox"/>	Building Height
<input type="checkbox"/>	Patio Size
<input type="checkbox"/>	_____

Signature of Property Owner(s) Greg and Barbara Johnson Date 11-9-23

Signature of Authorized Agent(s) \_\_\_\_\_ Date \_\_\_\_\_

- All applications must be accompanied by a signed Certificate of Survey
- Fee \$500 for Residential and Commercial Payable to "City of Crosslake"
- No decisions were made on an applicant's request at the DRT meeting. Submittal of an application after DRT does not constitute approval. Approval or denial of applications is determined by the Planning Commission/Board of Adjustment at a public meeting as per Minnesota Statute 462 and the City of Crosslake Land Use Ordinance.

For Office Use:  
 Application accepted by CS Date 11-16-2023 Land Use District SD

Lake Class RD Septic: Compliance na SSTS Design 10-4-2023 Installation \_\_\_\_\_



## Practical Difficulty Statement

Pursuant to City of Crosslake Ordinance Article 8 – Variances may be granted when it is found that strict enforcement of the Land Use Ordinance will result in a “practical difficulty”.

Please answer the following questions regarding the “practical difficulty” for your variance request.

1. Is the Variance request in harmony with the purposed and intent of the Ordinance?

Yes  No

Why:

**Defer to the Planning Commission/Board of Adjustment**

2. Is the Variance consistent with the Comprehensive Plan?

Yes  No

Why:

**Defer to the Planning Commission/Board of Adjustment**

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the Land Use Ordinance?

Yes  No

Why:

The existing cabin is too small and has no bathroom. A larger cabin with attached garage is needed.

4. Will the issuance of a Variance maintain the essential character of the locality?

Yes  No

Why:

This plan is consistent with the other cabins on the lake with regard to lake setback and building height. Desirable trees are preserved.

5. Is the need for a Variance due to circumstances unique to the property and not created by the property owner?

Yes  No

Why:

Moving the cabin farther from the lake would cut off the sunset view.

6. Does the need for a Variance involve more than economic considerations?

Yes  No

Why:

Preserving the sunset view is essential for enjoyment of the property.



City of Crosslake Planning Commission/Board of Adjustment

FINDINGS OF FACT

SUPPORTING / DENYING A VARIANCE REQUEST

*A Variance may be granted by the Planning Commission/Board of Adjustment when it is found that strict enforcement of the Land Use Ordinance will result in a “practical difficulty” according to Minnesota Statute Chapter 462. The Planning Commission/Board of Adjustment should weigh each of the following questions to determine if the applicant has established that there are “practical difficulties” in complying with regulations and standards set forth in the Land Use Ordinance.*

1. Is the Variance request in harmony with the purposes and intent of the Ordinance?

Yes                      No

Why:

2. Is the Variance consistent with the Comprehensive Plan?

Yes                      No

Why:

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the Land Use Ordinance?

Yes                      No

Why:

4. Will the issuance of a Variance maintain the essential character of the locality?

Yes          No

Why:

5. Is the need for a Variance due to circumstances unique to the property and not created by the property owner?

Yes          No

Why?

6. Does the need for a Variance involve more than economic considerations?

Yes          No

Why:





City of Crosslake Planning Commission/Board of Adjustment

After-The-Fact Variance Application

Findings of Fact

Supporting/Denying an After-The-Fact Variance

*An After-the-Fact Variance may be granted by the Planning Commission/Board of Adjustment when it is found that strict enforcement of the Land Use Ordinance will result in a “practical difficulty” according to Minnesota Statute Chapter 462. The Planning Commission/Board of Adjustment should weigh each of the following questions to determine if the applicant has established that there are “practical difficulties” in complying with regulations and standards set forth in the Land Use Ordinance.*

1. Is the After-the-Fact Variance request in harmony with the purposes and intent of the Ordinance?

Yes            No  
Why?

2. Is the After-the-Fact Variance consistent with the Comprehensive Plan?

Yes            No  
Why?

3. Is the property owner proposing to use the property in a reasonable manner not permitted by the Land Use Ordinance?

Yes            No  
Why?

4. Will the issuance of an After-the-Fact Variance maintain the essential character of the locality?

Yes                      No

Why?

5. Is the need for an After-the-Fact Variance due to circumstances unique to the property and not created by the property owner?

Yes                      No

Why?

6. Does the need for an After-the-Fact Variance involve more than economic considerations?

Yes                      No

Why?

7. Did the applicant fail to obtain a variance/or comply with the applicable requirements before commencing work? (Whether the applicant acted in good faith should be considered in the analysis of this factor)

Yes                      No

Why?

8. Did the applicant attempt to comply with the Ordinance by obtaining the proper permits?  
Yes            No  
Why?

9. Did the applicant make a substantial investment in or improvement to the property?  
Yes            No  
Why?

10. Are there other similar structures in the neighborhood?  
Yes            No  
Why?

11. Would the minimum benefits to the City appear to be far outweighed by the detriment the applicant would suffer if forced to move or remove the structure?  
Yes            No  
Why?